



Shiplake Villages Character Appraisal and Design Guide

Prepared in conjunction with the Shiplake Villages Neighbourhood Plan Steering Committee

By Bluestone Planning LLP

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Introduction

This character appraisal has been prepared by Shiplake Villages Neighbourhood Plan Steering Committee in conjunction with Bluestone Planning LLP.

The aim of the report is to provide evidence regarding the character of the Parish and how it is perceived by its residents.

In order to successfully plan for the future growth and development of the Parish it is imperative that there is a clear understanding of its character and what makes it unique.

For clarity, where the name 'Shiplake' appears, it refers to Shiplake Parish as a whole.

What is a Character Appraisal?

A character appraisal is a document which sets out the special interest, character and appearance of a particular place to highlight its local distinctiveness and identity.

The Appraisal itself is a factual and objective analysis, which seeks to enable an understanding of the wider qualities of distinctiveness of place by defining those physical elements that contribute to its special characteristics. Essentially it identifies those qualities that help to define and make the place unique: such as open space, materials, property type, maintenance, age of the structures.

In this instance, the study will define the character of the Parish's settlements as a series of character areas. Each area is described against a series of common physical characteristics.

Whilst this appraisal seeks to assess the area's special interest as comprehensively as possible, it cannot cover the minutiae of all issues. Consequently, any omission of a particular building, feature or space should not be taken to imply that it has no value or interest. The appraisal is the starting point; any development proposals should fully consider the appraisal, having regard to national and local policies. Such proposals should be informed by an individual assessment commensurate with the scale of the project proposed.

The information within the appraisal will comprise descriptive text supported by photographs, maps and other graphical material. It will also identify opportunities for future enhancement if considered necessary.

Please note that this study is not designed to replace or be a substitute for any existing Conservation Area Character Appraisal.

Purpose of the Study

The study has been produced for a number of reasons, but most importantly to inform the preparation of the emerging Neighbourhood Plan. Identification of important issues will help shape the content and direction of that plan.

In addition to the above, it could also be used as a development management tool to secure better quality development appropriate to its surroundings. Such a document can be used by residents and developers when preparing a planning application, or for anyone wishing to comment on a current planning application.

The Localism Act 2011 introduces the right for communities to shape their local areas by creating their own Neighbourhood Development Plan (NDP).

The Planning Policy Context

National and Local Planning Policy and Guidance

This appraisal should be read in conjunction with the wider national and local planning policy and guidance

National Policy Guidance

The National Planning Policy Framework (NPPF) was adopted by the Government in March 2012 and revised in February and June 2019. All the policies in the NPPF constitute the Government's view of what sustainable development in England means in practice. One of the key dimensions of sustainability is that of design. This is supplemented by a second dimension of protecting and enhancing our historic environment. Development that fails to adhere to both the design and the historic environment policies is therefore not considered sustainable development.

The NPPF sets out how the Government intends to deliver sustainable development through the planning process. It expressly states that sustainable development is about achieving positive growth, balancing economic, environmental and social considerations.

Whilst there is a strong presumption in favour of sustainable development, the framework also recognises the finite nature and value of our built heritage and the natural environment.

Section 12 of the NPPF sets out the main policies in respect to the importance of design in the planning process:

- Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- Policies should ensure that developments are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change.
- Permission should be refused for development of poor design that fails to take the opportunities presented by a site.

- Great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

Specifically with regard to the historic environment, the key messages are:

- There should be a positive strategy for the conservation and enjoyment of the historic environment.
- When considering the impact of proposals on a designated heritage asset, great weight should be given to the asset's conservation. Substantial harm should be exceptional, whilst less than substantial harm should be weighed against the public benefits of the development.

Local Policy

Local Plan

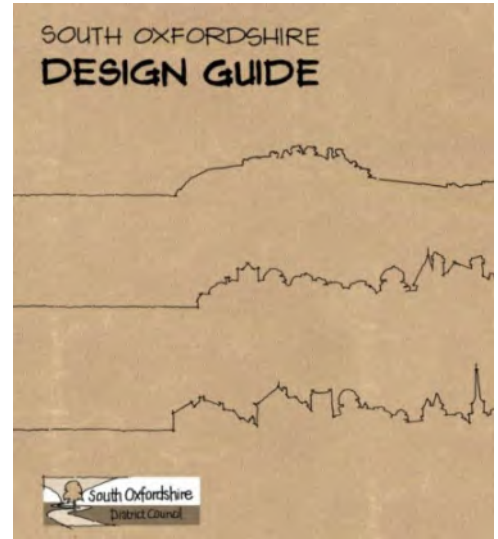
The Development Plan for the Parish currently comprises the South Oxfordshire Local Plan 2035 was adopted 10th December 2020.

In respect of adopted policy, specifically in relation to the Shiplake Villages, the Parish does not lie within an area planned for significant growth as the substantial majority of development within the Parish is contained in two 'smaller villages'.

South Oxfordshire Design Guide

The South Oxfordshire Design Guide was adopted in November 2016 following public consultation during the summer. The objective for the design guide is to raise the quality of design in new development in the district. The guide seeks to do this by setting out the standard we expect new developments to meet through a series of checklists which each relate to key design principles. This Character Appraisal has been produced to be read in conjunction with the Design Guide. It is intended that the processes as set out within the Guide should be followed and the details provided by this appraisal should be used to inform future development.

Further overarching guidance is contained within the recent government publication The National Design Guide (2019).



TEST YOUR DESIGN:

The new development should ensure:

- 7.1 that it respects the character of the area or has its own distinctive, but complementary character.
- 7.2 the buildings work with and respond positively to existing topography, for example views in and out of the site or natural features;
- 7.3 landmark/feature buildings with high quality materials have been used to define prominent points in a layout such as corner plots;
- 7.4 the scale of new development should be sensitive to its context. An uplift in scale can be appropriate for landmark buildings in a key location (see 4.2);
- 7.5 buildings have visual interest created by attractive detailing, high quality materials, depth and shadow lines and fenestration. Changes to texture and colour should be encouraged to complement the facade articulation in order to provide visual interest;
- 7.6 buildings can be adapted for existing and future users and changing circumstances (e.g. level access or ramps / live-work units);
- 7.7 green and/or brown roofs have been explored on flat roofs;
- 7.8 adequate amount of amenity space has been provided for each residential unit, including apartments, or a robust justification why private amenity space cannot be provided to these standards:
 - 1 bed = 35 sqm
 - 2 bed = 50 sqm
 - 3 bed + = 100 sqm.
- 7.9 external access to rear gardens has been provided, where needed, that avoids long, narrow alleyways;
- 7.10 the amenity spaces have not been compromised by the location of parking areas and garages. Orientation has been considered. Gardens are not overshadowed by outbuildings or garages, making the most of the light available;
- 7.11 awkward shape gardens should be avoided in order to be viable;
- 7.12 Where balconies are provided, these should be able to accommodate a table and chairs and space for planting/food growing;
- 7.13 Topography is taken into account and imaginative solutions are used to respond to it;
- 7.14 Back to back distances are a minimum of 25 metres; back to side are a minimum of 12 metres; front to front a minimum of 10 metres and back to boundary a minimum of 10 metres. Where these distances are not met, demonstrate how the design proposals ensure that privacy is maintained;
- 7.15 Green space incorporates pathways suitable for wheelchair users and pushchairs (e.g. bound gravel pathways).

Needs: 0 Full, 100% meeting criteria for all existing

TEST YOUR DESIGN:

A contextual analysis including an opportunities and constraints plan (which will inform your design rationale) of the wider and immediate site context has been prepared. It identifies the following both within the site and beyond the site boundary:

- 1.1 existing networks of natural features, including watercourses, trees, hedgerows, green spaces, field patterns, habitats and public rights of way (footpaths, bridleways, etc.);
- 1.2 the landscape character, natural features and topography highlighting visually prominent areas. This includes existing landscape features, water features, trees and hedges, views and skyline;
- 1.3 attractive and/or sensitive views (both of and from built and natural features) into, out of and within the site;
- 1.4 buildings and structures of historical importance including listed buildings, conservation areas and archaeological remains;
- 1.5 potential barriers to development such as railway lines, utilities, pipelines, noise, pollution, major roads, land contamination, etc.;
- 1.6 the land uses adjacent to the site and how these will impact on the design/treatment of the edges of the development - identify how each edge of the development site will address the adjacent uses;
- 1.7 the settlement structure of the site and surrounding area. This includes studying the historical development of the settlement, the existing connections, the structure and hierarchy of streets and spaces, the townscape (the pace, density, density, gateways, nodes, plot and block sizes). Figure ground diagrams can help understand a settlement structure;
- 1.8 the streets and public spaces surrounding the site. The enclosure of streets and public open spaces, the layout and form of spaces and the public and private interface;
- 1.9 the built character. The scale, form and massing of the built environment, treatment of building frontages and boundaries, building types and materials.

Needs: 0 Full, 100% meeting criteria for all existing

TEST YOUR DESIGN:

Ensure the scheme:

- 2.1 uses the physical features of the site and the results of technical studies positively/imaginatively in its design;
- 2.2 is designed to maximise the benefits of natural resources and does not negatively impact on the benefits enjoyed to neighbouring properties and spaces;
- 2.3 strengthens and retains wherever possible the site's landscape features including field patterns and those with a high biodiversity/ecological value such as hedgerows and ponds;
- 2.4 creatively integrates and enhances the survival of archaeological remains and features;
- 2.5 retains and creates views in and out of the site to prominent landscape features and landmarks;
- 2.6 creates new habitats to increase the number of species on site;
- 2.7 has a joined up network of open spaces which form an integral part of the development and should be located where existing and new residents can access them easily. Open spaces are not located on the edge of the development or where there is 'left over space';
- 2.8 does not use landscape as a barrier between new and existing development and is therefore integrated into the development;
- 2.9 recognises and works with noise or smells from neighbouring uses (e.g. sewage treatment works, railway line, a ring road etc.);
- 2.10 identifies noise, air quality and contaminated land sources to inform the orientation and location of a development. The same for air quality, and contaminated land may also allow where they put the habitable spaces compared to car parks etc.;
- 2.11 has 'Sustainable Drainage Systems' that is an integral part of the development's open space network.

Needs: 0 Full, 100% meeting criteria for all existing

Figure 1: South Oxfordshire Design Guide 2016 extracts

<http://www.southoxon.gov.uk/services-and-advice/planning-and-building/conservation-and-design/design/design-guide>

Context

Shiplake Villages is a rural Parish with two main settlements, namely Lower Shiplake and Shiplake Cross, although there are farms outside of the built up area of the settlements.

It is situated in South Oxfordshire District.

To the east it is bordered by the River Thames, which separates the Parish from Wargrave beyond. Surrounding the Parish, are the parishes

of Harpsden to the north, Binfield Heath to the west and Eye and Dunsden to the south.

The nearest town, Henley on Thames, is about 2 miles to the north.

The Neighbourhood Plan area (shown below), was originally designated as shown without the area highlighted in red. It was later amended to be in line with the revised parish boundary.

Map 1 Designated Shiplake Neighbourhood Area

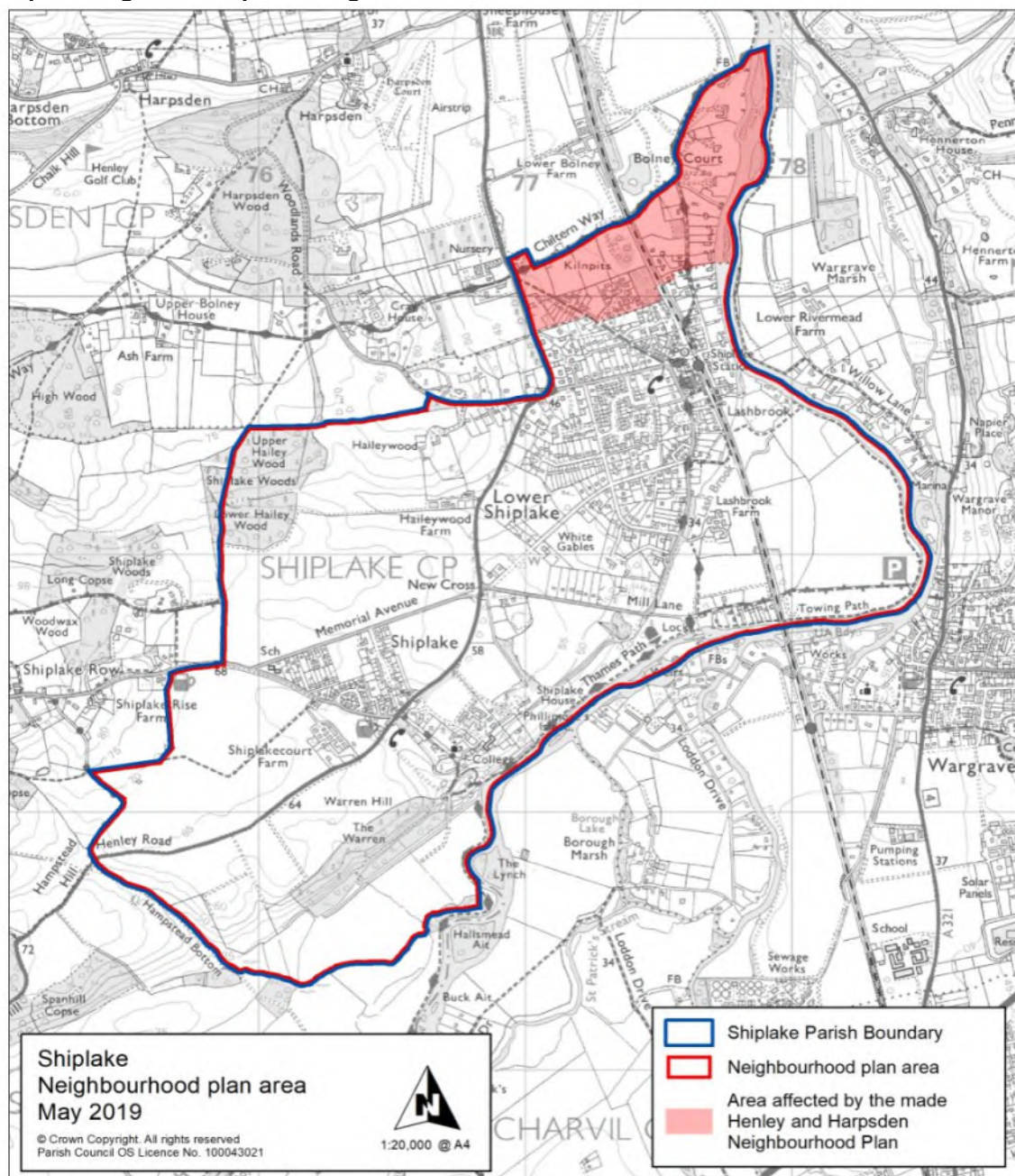


Figure 2: Map showing Neighbourhood Plan area as designated by VoWHDC

Chronological Development

History of the Parish

The following section provides a brief overview of the development of the Parish over time. It is not intended to be a comprehensive historical study, but to merely inform the Character Appraisal of the evolution of the settlements and key buildings.

Shiplake Parish comprises the settlements of Shiplake Cross and Lower Shiplake. They are both situated on the bank of the Thames with the Parish boundary extending from the banks of the River Thames across the A4155 up to its boundaries with Binfield Heath Parish and Harpsden Parish.

The name Shiplake most likely stems from 'stream where sheep are washed' ('sheeplake') but it has also been suggested that it could be named after the final resting place of a Viking ship (ship loss) as the river was too shallow to navigate above Shiplake.

There are also various alternative thoughts on the origins of the Parish and settlement names and further historical details including maps, can be found on the Parish Council website.

In the Domesday book(1086) it was part of the 'Binfield Hundred' and the area named as Lysbrook, later Lachebroc (a sluggish stream) and Bolchede, later Bolney. The Lashbrook and Bolney names still exist today in street names.

The 1897 map of Shiplake Villages shows the older areas of settlement around what is today known as Shiplake Cross, in and around the Parish church of St. Peter and Paul, Shiplake College (formerly Shiplake Court and farm), the local primary school and the Plowden Arms (The Plough) pub.

The most significant periods of development relate to infrastructure improvements such as Shiplake Lock, the A4155 and Henley Branch railway line.

In 1773 the Thames Navigation Commission built Shiplake Lock on the Thames about 800m down river from the original village. This allowed improved access to the paper mill located close by.

In 1769 the road which has now evolved into the A4155 turnpike road was built, providing a direct route from Reading through Shiplake to Henley and thence to Oxford.

The Henley Railway branch line was completed in 1857.



Figure 3: View along The Thames towards Shiplake Lock



Figure 4: Historic view of Shiplake Station



Figure 5: Lower Shiplake Corner Store (now demolished)



Figure 6: The Old Mill

Shiplake Villages



Figure 7: 1897 Overview Map of Shiplake Parish - Present day Lower Shiplake is named Lashbrook, with the College and surroundings as Shiplake and a small number of buildings in Shiplake Cross

The above map shows limited development in the Parish. Lower Shiplake is shown as Lashbrook. The station is visible as well as a number of cottages and larger dwellings. Lashbrook and Shiplake Court Farms are both evident as well as the mills and the Lock.

Around Shiplake Cross are a number of cottages, The Plough, the church and vicarage, Shiplake Court and Shiplake House. Boat houses are also prevalent.

Shiplake Cross



Figure 8: Historic map of Shiplake Cross 1875



Figure 9: Historic map of Shiplake Cross 1932

Shiplake Cross

The detailed 1875/ 1932 maps (figures 8 and 9) show the historic form of what is now present day Shiplake Cross as small groupings of buildings focused around key points of interest which are set out below.

1. Tithe records indicate that the Church of Saints Peter and Paul dates from at least the 12th century. With major restoration in 1822 and in 1869.
2. Shiplake Court dates back to the 12th Century, but was rebuilt in the 14th Century by the Englefield family. It has gone through a number of ownership changes before being rebuilt in 1905, finally becoming Shiplake College in 1958.
3. It is understood that parts of the Plowden Arms (The Plough) date to the 1600s with the building being used as a public house from 1749.
4. Shiplake Mills - the last mill closed in 1907.
5. The primary school in Shiplake Cross was built in 1870, but required improvement and was rebuilt adjacent in 1963. The original building was then demolished to provide the playground.
6. Although much later in date, the Shiplake Memorial Hall is highly noteworthy. It was built in 1925 in memory of parishioners who gave their lives in WWI.

Lower Shiplake



Figure 10: Historic map of Lower Shiplake 1897 - shown as its historic name of Lashbrook

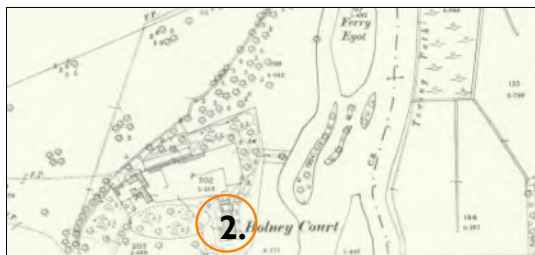


Figure 11: Historic maps of Lower Shiplake 1932

Lower Shiplake

As the above map shows, there was very little development in the area before 1900, with the exception of farms and cottages.

1. The railway transformed Lower Shiplake. The Bolney and Lashbrook estates were sold and the land developed for housing.
2. The Bolney estate had previously provided moorings for houseboats alongside the river, and several of the houses in Bolney Road retained the name of the original houseboat. Housing in Lower Shiplake was bought by commuters to London as the railway provided a good route.
3. It is likely that the Lashbrook Chapel building was originally the store for the nearby paper mill. The last service at the chapel was held on 27th October 2002.

According to the trade directory for 1936 there was a grocer, two coal merchants, a dairyman and riding stables, shop and sub-post office, a plumber, an off-licence, a garage, a newsagent, two boat builders and boat repairers, and two market gardens (one for bulbs). A policeman, a stationmaster and a lockkeeper

all lived in the village. The Baskerville Arms was built after this date on the site of the huge village store which had burned down.

Between 1960 and 2013 more than 170 new houses were built in the villages. Part of the Baskerville estate was developed into Badgers Walk/Brocks Way, and the horticultural fields off Northfield Avenue into Manor Wood Gate and Brampton Chase.

Both settlements contain a range of Parish facilities. Unlike many rural villages the Parish still boasts many amenities including two pubs, a shop and post office, a butcher, a garage, a church, schools, a nursery and good bus and rail links.

Shiplake Villages Present Day



Figure 12: Present day map of Shiplake Villages and major proposed/ considered development sites

2000 to Present

Whilst there have been a significant number of applications in the Parish in recent years, much of this relates to small scale schemes and replacement dwellings.

Since 2015 however, the villages have been the subject of larger scale development proposals, with a number of major applications being proposed and approved adjacent to the Parish boundary, particularly to the north, within Harpsden and Henley parishes.



The map above shows the applications and appeals for 5 or more dwellings or other major development which are either under consideration or recently approved at the time of writing.

A more detailed explanation of recent planning approvals is contained within the Parish Landscape Character Assessment by Kirkham Landscape Planning Ltd/ terra firma Consultancy, March 2021.

Shiplake Villages - Sites Examined in the HELAA

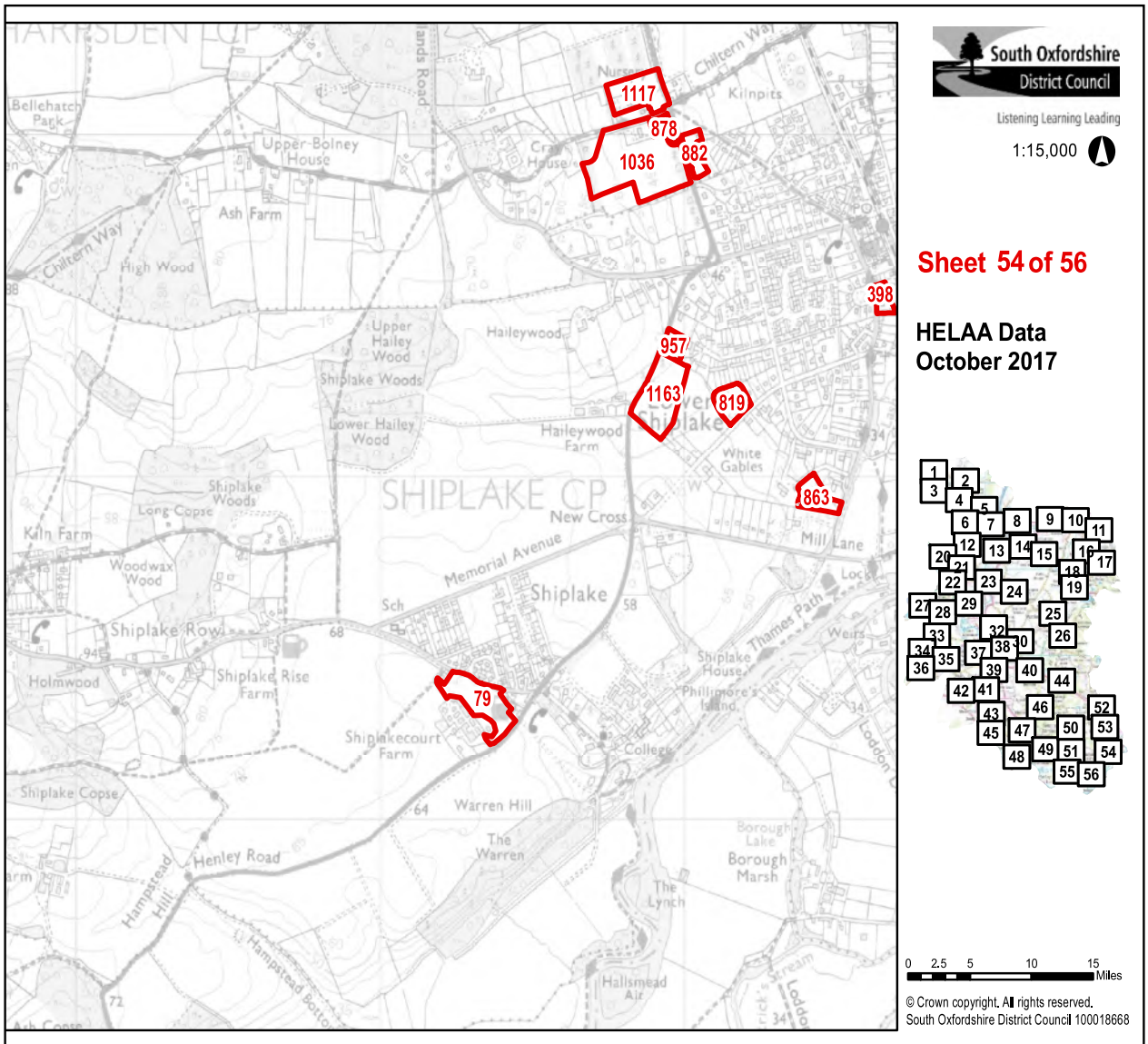


Figure 13: Present day map of Shiplake Villages showing location of HELAA sites

The above plan highlights all the sites around the Neighbourhood Plan area which were examined in 2017 (and updated in 2019) for development potential in the District's Housing and Economic Land Availability Assessment (HELAA). The sites were examined in Planning Policy terms to determine whether or not they were suitable, available and achievable during the Development Plan period.

Whilst this appraisal does not seek to provide further analysis of the development potential of each site, it demonstrates with the preceding page the likely points of future development pressure.

Landscape Context

The separate Shiplake Parish Landscape Character Assessment (SPLCA) - 2021, undertaken by Kirkham Landscape Planning Ltd/ terra firma Consultancy describes the variation in the character of the landscape across Shiplake Parish.

It defines 4 no. Parish Landscape Character Areas (PLCAs) which exhibit unique combinations of elements and features (characteristics) that make these landscape areas valued and distinctive. These areas are highlighted in figure 14 below, with the summary of development principles and guidelines examined in further detail.

The Parish lies between the River Thames to the east and the Chilterns Area of Outstanding Beauty to the west, with a small part of the AONB (Shiplake Woods) within the Parish.

Although only a small part of the Study Area falls within the AONB, the above shows that the Study Area falls within the setting of the AONB. There is a high level of intervisibility between the edge of AONB and the Parish with views from the edge of Shiplake Woods over the Study Area to the

Thames Valley and views from the Study Area up the open farmland to the AONB edge.

Paragraph 172 of the NPPF (2019) sets out that "Great weight should be given to conserving and enhancing landscape and scenic beauty in ... Areas of Outstanding Natural Beauty, which have the highest status of protection in relation to these issues. The scale and extent of development within these designated areas should be limited. Planning permission should be refused for major development other than in exceptional circumstances."

It is also understood that a number of the local Parish Councils have also joined together and have sought to make an application to extend the AONB when it is next due for review.

Outside of the AONB, the NPPF (2019) paragraph 170 states that planning policies and decisions should contribute to and enhance the natural and local environment by: a) protecting and enhancing valued landscapes.

The assessment carefully examines these landscapes and in addition to those areas identified as AONB, it also assesses whether those areas outside the AONB are valued (i.e as falling within NPPF) in terms of those features shared with the AONB or identified as worthy of conservation and enhancement.

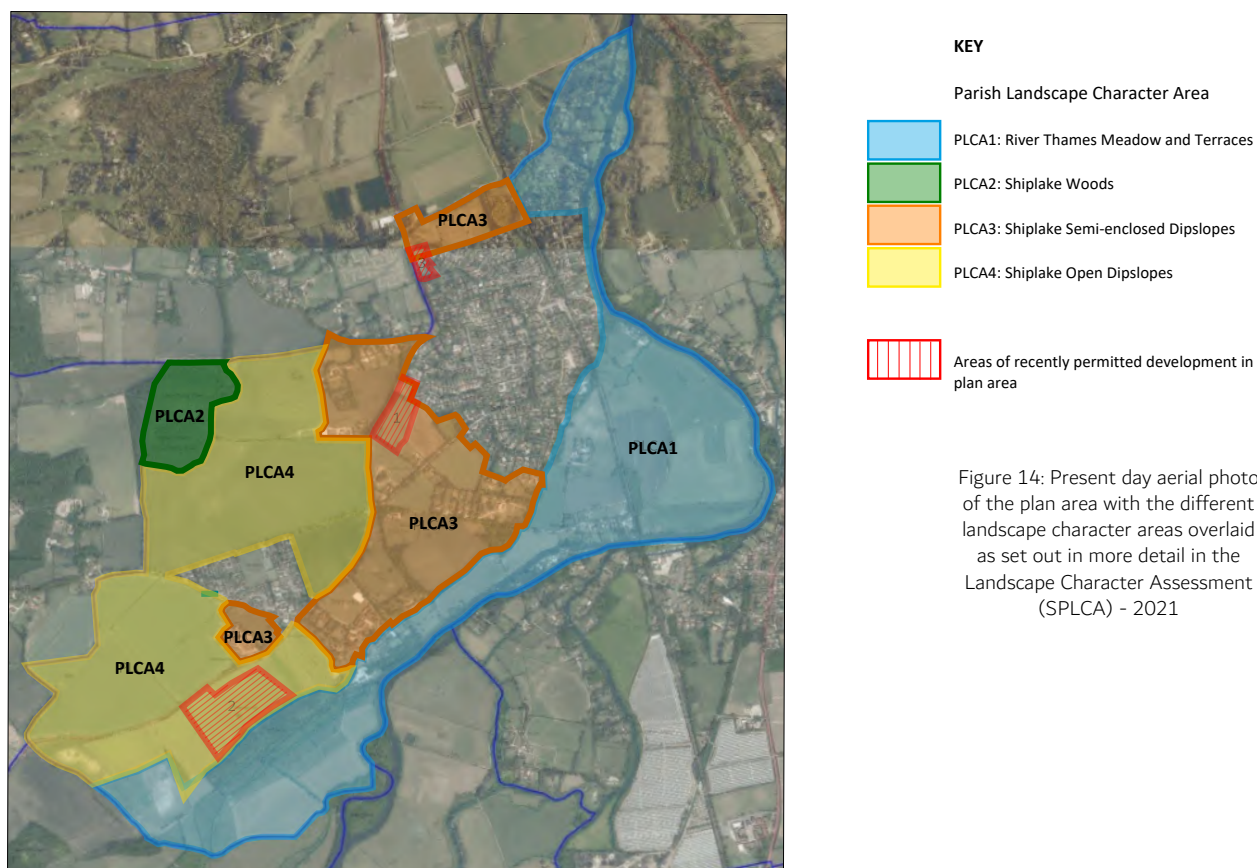
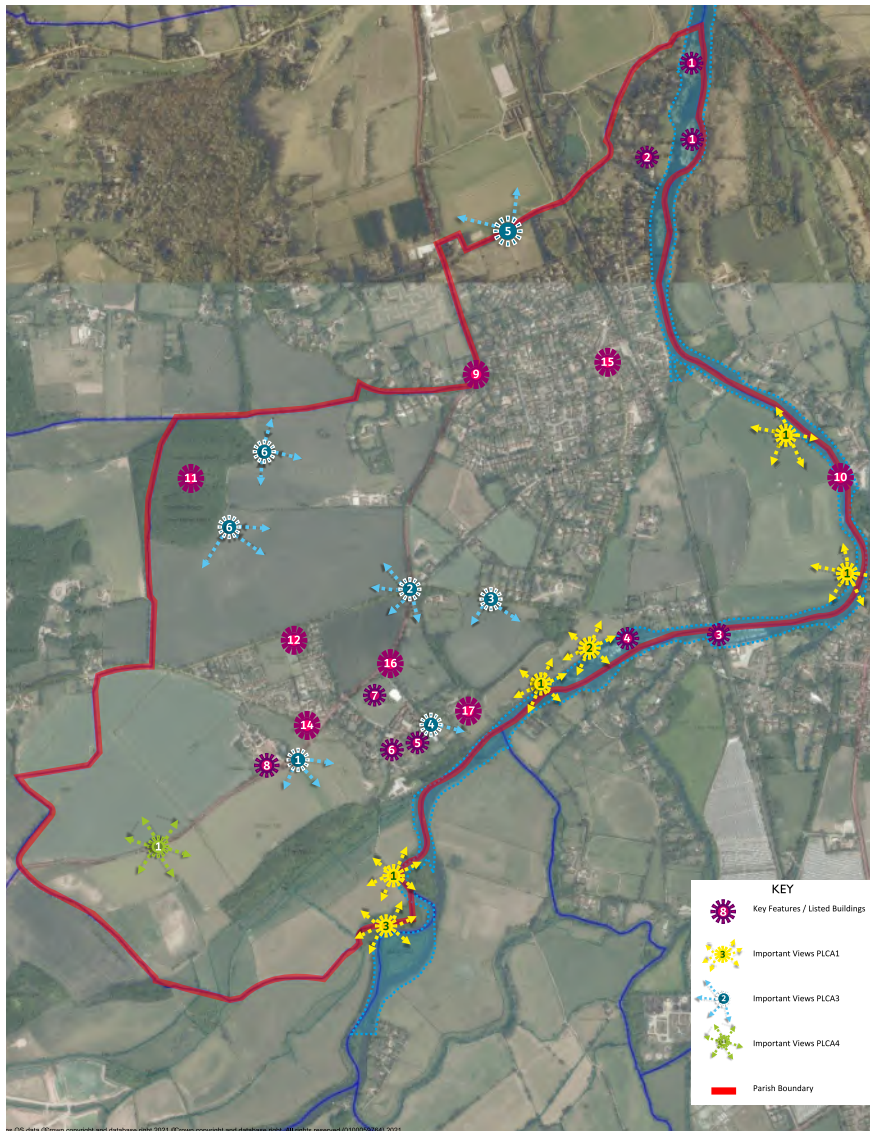


Figure 14: Present day aerial photo of the plan area with the different landscape character areas overlaid as set out in more detail in the Landscape Character Assessment (SPLCA) - 2021

Landscape - Key Views and Landmarks



Landmarks/ Features

1. River Thames wooded islands
2. The White House at Bolney Court
3. The Viaduct
4. Siplake Lock
5. Siplake College
6. St Peter and St Paul Church
7. Siplake College frontage
8. Farm house and buildings at Siplake Farm
9. War memorial
10. River Thames
11. Siplake Woods (AONB)
12. Memorial Hall
13. Cliffs below Siplake College
14. Plowden Arms
15. Baskerville Arms
16. Lodge at Siplake College
17. Siplake House and Parkland

PLCA1 Key Views

1. Continuous tow path - views along River Thames and across to Wargrave
2. Views to Lock, Lodge, and parkland
3. Views of wooded terraces with glimpses of Siplake Cross

PLCA3 Key Views

1. Henley Road approach looking south-east
2. Memorial Avenue and Henley Road
3. Mill Lane and look south-east
4. River Thames from College
5. Gap between Henley and Lower Siplake
6. Views from edge of PLCA2 along the permissive path across PLCA3 south and eastwards

PLCA4 Key Views

1. Henley Road approach to Siplake Cross looking north-east to Siplake Court Farm and south-east over Warren Hill to hills east of the River Thames

Figure 15: Present day map of Siplake Villages showing the important views and landmarks as described in Landscape Character Assessment (SPLCA) - 2021, undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

The above figure 15 sets out the key landmarks and views, which have been reviewed with photographs to highlight where appropriate.

The key to the left highlights each feature, landmark and view as identified within the document with the colour coded photograph identified. It should be noted that the photographs overleaf relate to each feature and view identified above.

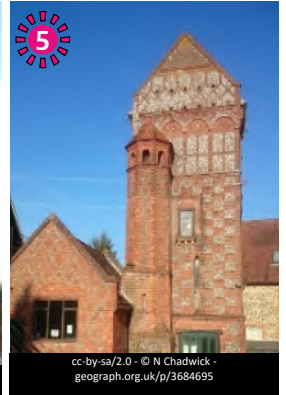


Figure 16: Siplake Farm House and Buildings

Landscape - Parish wide Key Features and Landmarks



Figure 17: Photographs of important landmarks as shown in Figure 15 and as set out in Landscape Character Assessment (SPLCA) - undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd



Landscape - PLCA1 River Thames Meadows and Terraces



PLCA1 Key Views

1. Continuous tow path - views along River Thames and across to Wargrave
2. Views to Lock, Lodge and parkland
3. Views of wooded terraces with glimpses of Shiplake Cross



Figure 18: Photographs of important views as shown in Figure 15 and as set out in Landscape Character Assessment (SPLCA) - PLCA1 - undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

Landscape - PLCA1 River Thames Meadows and Terraces

PLCA1 makes a major contribution to the riparian character of the eastern edge of the built up area of Lower Shiplake, with its open meadows, Lash Brook, and tree enclosed railway line'.


This area (highlighted in blue) contains the River Thames Meadows and Terraces landscape which run alongside and are connected by the River Thames. These include flat open areas of floodplain under pasture, wooded river cliffs and terraces and the remnant parkland associated with riverside residences taking advantage of higher ground and views.


It also contains landscape features as found within other landscape character areas adjacent the River Thames within the Chilterns AONB; these include a mainly undeveloped open flat floodplain, characterised by fields of pasture and drainage ditches with riparian vegetation.

The River Thames Meadows and Terraces is regarded as a valued landscape (for further details see (SPLCA).


The assessment recommendation are illustrated below.


Figure 19 PLCA1 Key and Recommendations


 Conserve the largely development free large scale open floodplain;

 Conserve and enhance the riverside character of the area around adjacent to the open floodplain. This is to be achieved by:


- Avoiding over-development of plots (retention of vegetation and gaps between buildings).
- Avoid dominant buildings along the river bank


 Maintain the undeveloped wooded character of the river islands (including setting);

 Retain and improve access to the River Thames including the Tow path adjacent the river through rear gardens;

 Avoid the expansion of the domestic curtilage of Andrew Duncan House and improve the boundary edge treatment to the wider floodplain;

Avoid urbanizing of low density, well vegetated plots on the edge of PLCA1 including residential entrances and garden boundaries in particular along Mill Lane and Mill Road.

 Maintain identified important views

 Avoid development which would harm the setting of the Heritage Assets at Shiplake College

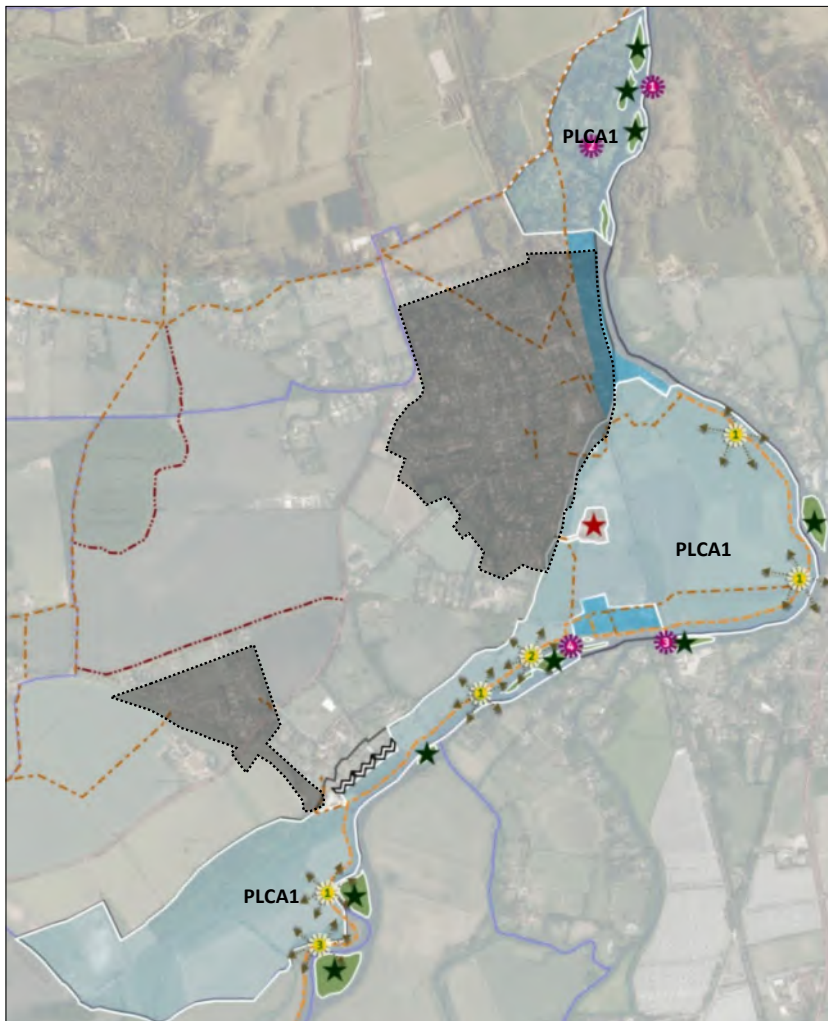


Figure 19

Landscape - PLCA2 Shiplake Woods

PLCA2 The open landscape above Shiplake Cross and Lower Shiplake forms the undeveloped setting for Shiplake Woods along its eastern edge. The woods are visible from the edge of Shiplake Cross (Memorial Avenue) and provide a strong visual link from this area to the Chilterns AONB.¹



This landscape area is known collectively as Shiplake Woods and includes Upper Hailey Wood and Lower Hailey Wood (both ancient woodland). It is located on the middle Chiltern Dipslopes within the Chilterns AONB. The wood has an unspoilt rural landscape character and includes areas of ancient woodland.

The woodland is mix woodland with around 6 different compartments of varying tree species, age and structure including softwoods and hardwoods.

There is a public right of way along the western edge of the area, with permissive paths crossing throughout in addition to one running alongside the eastern edge. This makes it popular for informal recreation.

It is a prominent feature in the landscape and can be seen from both Memorial Avenue and Shiplake Cross itself. Therefore any development between the two areas would have an impact on the setting of the AONB.

Figure 20 PLCA2 Key and Recommendations

- a) Resist any built features or development including modern boundary treatments (fences etc.) and vehicular access tracks due to impact on AONB;
 - b) Maintain permissive footpaths (throughout and along eastern edge) links to Shiplake Cross and the wider Chilterns AONB.
 - c) Maintain irregular eastern edge of woodland;
 - d) Maintain open rural setting to the woods;
 - e) Maintain open rural views to screened Lower Shiplake and beyond to the hills above Wargrave due to impact on the setting of the AONB.
-  Shiplake Woods (AONB)
 Pockets of development (or permitted development) in the open countryside which could harm the setting of the AONB without adequate landscaping

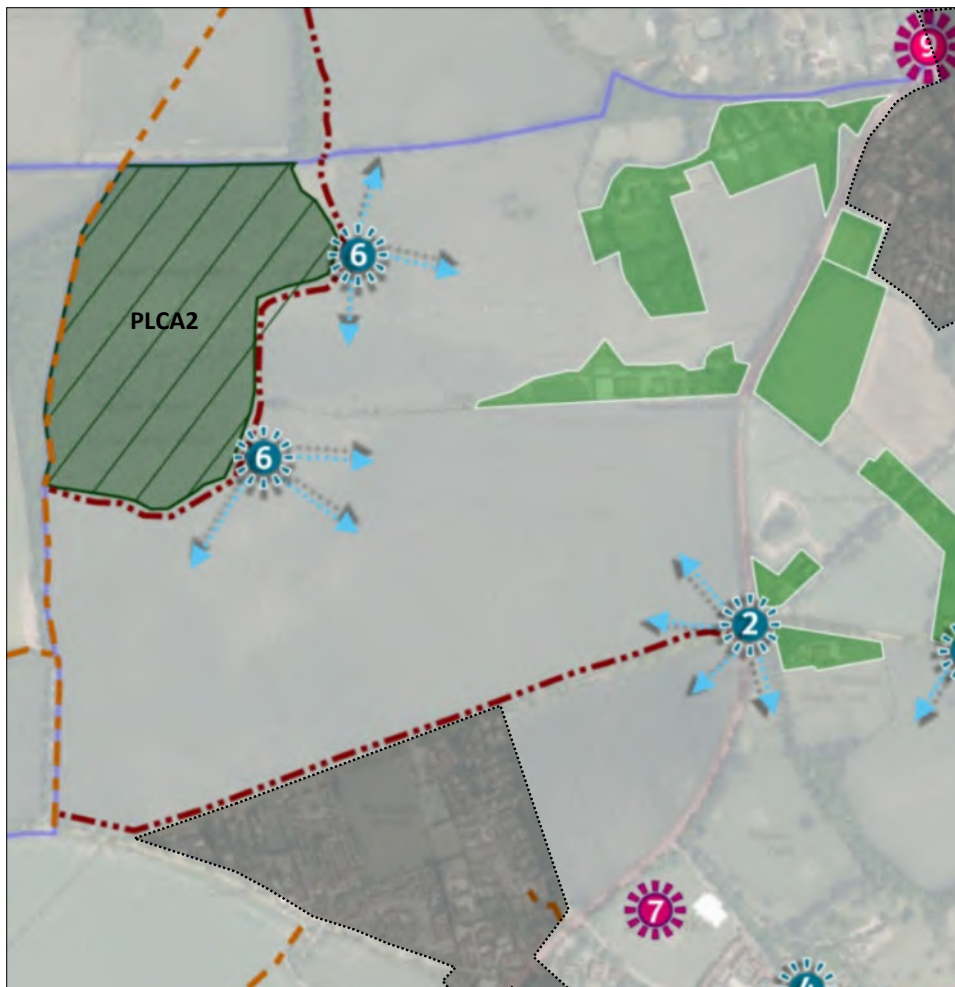


Figure 20

Figure 21- PLCA3 Key and Recommendations












-  PLCA 3
-  Permitted development
-  a) Maintain the open views of the river Thames corridor from the edge of the river terraces, in particular from Shiplake College;
-  b) Avoid any development that would adversely impact upon the views to and from Shiplake Woods and the open dipslopes eastwards over the area to the river corridor and hillsides to the east. Special regard to be had to the views from the edge of the Chilterns AONB;
-  c) Avoid any development that would detract from the semi-rural character of the views from the River (PLCA1 to PLCA3). Including inappropriate development in the terrace skyline;
-  d) Retain the sense of visual enclosure created by mature tree lines and hedgerows (see figure 29);
-  e) Conserve and enhance the character of the area which includes pockets of housing and development on the edge of and outside of the settlements, particularly around Mill Lane, Mill Road and Woodlands Road. This is to be achieved by:
 - Avoiding over-development of each residential site
 - Retain level of tree cover and vegetation
 - Retain significant gaps between buildings.
 - Avoid road improvements such as pavements, street lighting, signage which would urbanise this area
-  f) Avoid development which would cause physical or visual coalescence of settlements.
-  Settlement

Figure 21

Landscape - PLCA3 Shiplake Semi Enclosed Dipslopes

PLCA3 is distinguished by its role in wrapping around the two settlements and Shiplake College retaining a distinct pastoral and domestic landscape setting to these villages. The landscape strongly contrasts with the adjoining settlement built form, even where there is low very low density development as off Mill Lane. These are also clearly separated from the built up areas by the mature boundaries which reflect the historic pattern of tree lines in the area. They ensure that Lower Shiplake and Shiplake Cross retain their distinct settlement pattern and 360° rural setting. The fields closest to the villages retain strong connectivity, both visually and physically with their rural neighbours, whilst the openness of the pastoral fields contribution equally to the rural character as the mature tree and hedgerow



The area (highlighted on the preceding page in orange) is a small scale landscape with a mix of small to medium sized fields under pasture and arable farmland, in addition to the extensive grounds to Shiplake College. Within the landscape are also semi-rural individual houses, with heavy tree and mature hedgerow cover.

Although the overall semi-enclosed dipslope character of this area is extensive throughout the Chilterns AONB, little of this landscape type is found along the Thames

Valley and Fringes outside Shiplake Parish. As such it represents a rare example of where this AONB landscape type extends down into the Thames Valley and creates a pastoral, rather than wooded setting, to the river landscape. In this regard, a large number of development principles have been proposed to conserve and enhance the landscape.



Figure 22: Photographs of important views as shown in Figure 15 and as defined in Landscape Character Assessment (SPLCA) undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

Landscape - PLCA3 Shiplake Semi Enclosed Dipslopes

- a) Conserve and enhance the semi-rural character of the area around New Road/Mill Lane/Mill Road, including the pattern of large properties in large grounds with extensive tree cover and mature tree and hedgerow boundaries;
- b) Conserve and enhance the special character of Shiplake College, retaining its pattern of open grounds and tree cover, and conserving the well landscaped setting to the Listed Buildings;
- c) Conserve and enhance the wooded and tree covered character of the housing along Woodlands Road;
- d) Maintain the physical open countryside separation of Lower Shiplake and Shiplake Cross (see also section 6);
- e) Maintain the rural character of the minor lanes and the Henley Road by retaining roadside tree lines, native hedgerows and grassed verges;
- f) Avoid features such as pavements, street lighting, signage which would urbanise the area;
- g) Provide substantive native tree and hedgerow buffers (through retention and new planting) between any approved expansion of either settlement and the wider landscape to screen the development and integrate the new settlement edge into its landscape setting;
- h) Redevelopment of any land in existing residential, agricultural or commercial use should maintain the current mass and scale of built form, protect the current very low density pattern of built form and the dominance of open space and tree/hedgerow cover within the plots of land;
- i) Conserve the rural approach to Shiplake Cross from the west along the Henley Road by retaining the agricultural character of Shiplake Farm and its agricultural setting;
- j) Avoid any development around Shiplake Cross which would urbanise the rural setting of Shiplake College;
- k) Retain the pastoral character of the rural approach to Lower Shiplake from Henley.



Figure 23: Photographs of important views as shown in Figure 15 and as defined in Landscape Character Assessment (SPLCA) - PLCA3 - undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

Landscape - PLCA3 Shiplake Semi Enclosed Dipslopes

PLCA3 Key Views

1. Henley Road approach looking south-east
2. Memorial Avenue
3. Mill Lane and look south-east
4. River Thames from College
5. Gap between Henley and Lower Shiplake
6. Views from edge of PLCA2 along the permissive path across PLCA3 south and eastwards



Figure 24: Photographs of important views and landmarks as defined in Landscape Character Assessment (SPLCA), undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd and shown on figure 15 and within each landscape character area detail

Landscape - PLCA4 Shiplake Open Dipslopes

A strong rural character with limited views of the settlement edge of Shiplake Cross and limited views of the buildings within Lower Shiplake; a sense of elevation with long views to the east and south east and across the Thames River valley to the wooded Bowsey Hill; open rural settings of the farmsteads Shiplake Farm and Haileywood Farm; and the open rural approach to Shiplake Cross along the Henley Road, Memorial Avenue and Plough Lane. This is an open landscape with strong visual and landscape links to the adjacent Chilterns AONB, with Shiplake Woods (located within the AONB) visually prominent throughout the northern section. Within the adjacent area of the Chilterns AONB, the landform of dry valleys and open slopes (typical of the AONB) continue within this PLCA4¹.

A strong rural character with limited views of the settlement edge of Shiplake Cross and limited views of the buildings within Lower Shiplake; a sense of elevation with long views to the east and south east and across the Thames River valley to the wooded Bowsey Hill; open rural settings of the farmsteads Shiplake Farm and Haileywood Farm; open rural approach to Shiplake Cross along the Henley Road, Memorial Avenue and Plough Lane. This is an open landscape with strong visual and landscape links to the adjacent Chilterns AONB, with Shiplake Woods (located within the AONB) visually prominent throughout the northern section. Within the adjacent area of the Chilterns AONB, the landform of dry valleys and open slopes (typical of the AONB).

Woodlands are not a feature of this character area, however they form part of the boundaries and provide a sense of enclosure and separation from other adjacent PLCA's.

- Memorial Avenue and Plough Lane clearly define the northern and south-western settlement edge of Shiplake Cross;

- On the Henley Road, the southern and northern settlement edge of Shiplake Cross forms an important gateway approach to the village;

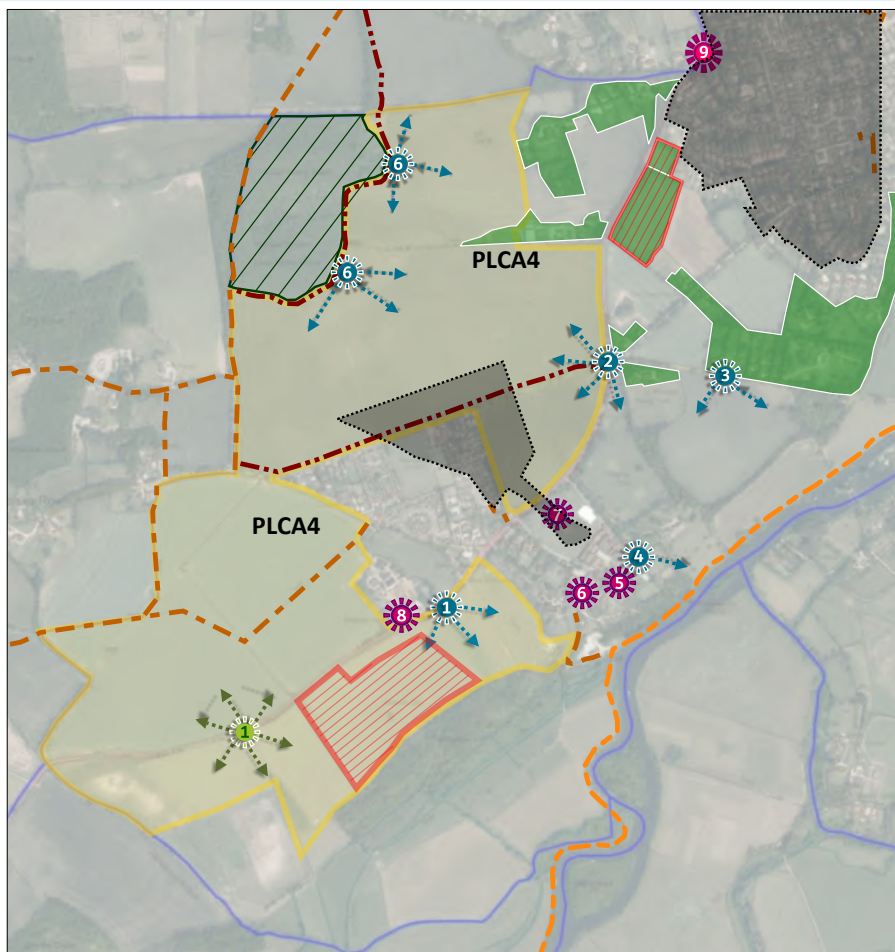








Figure 25 Key and Recommendations

-  PLCA 4
-  Permitted development
-  Pockets of development on the edge of and outside of the settlements

-  a) Avoid any development that would adversely impact upon the views to and from Shiplake Woods and the open dipslopes eastwards over the area to the river corridor and hillsides to the east. Special regard to be had to the views from the edge of the Chilterns AONB;
-  b) Conserve the open long views across the Thames valley
-  c) Retain the sense of visual enclosure created by mature tree lines and hedgerows (see figure 29);

d) Minimise the visual impact of intrusive land uses at the fringes of towns, villages and farms;

e) Maintain the physical open countryside separation of Lower Shiplake and Shiplake Cross

f) Conserve the rural approach to Shiplake Cross from the west along the Henley Road by:

- Retain the agricultural character of Shiplake Farm and Haileywood Farm and its agricultural setting
- Avoid road improvements such as pavements, street lighting, signage which would urbanise this area
- Plough Lane provides a rural approach to Shiplake Cross from the west;
- Memorial Avenue provides a rural approach to Shiplake Cross from the east.

Landscape - PLCA4 Shiplake Open Dipslopes



Figure 26: Henley Road approach to Shiplake Cross looking southeast as defined in Landscape Character Assessment (SPLCA), undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd and as shown in Figure 15

The area is regarded as a valued landscape (for further details see (SPLCA).

1. The assessment goes on to recommend visual and development guidance specific to the area and its setting (see figure 26). Maintain the physical open countryside separation of Lower Shiplake and Shiplake Cross (see also section 5);
2. Conserve the rural approach to Shiplake Cross from the west along the Henley Road by retaining the agricultural character of Shiplake Farm and its agricultural setting;
3. Avoid any development around Shiplake Cross which would urbanise the rural setting of Shiplake College and Henley Road;
4. Avoid features such as pavements, street lighting, signage which would urbanise the area.
5. Conserve the open long views across the Thames valley to Wargrave and Bowsey Hill;
6. Maintain the open uninterrupted views to local woodlands: Shiplake Woods (within the Chilterns AONB) and The Warren;
7. Maintain the contrast of open undeveloped landscape to developed village as gateways to Shiplake Cross;
8. Maintain the undeveloped open rural settings to the farmsteads Shiplake Farm and Haileywood Farm.



Figure 27: View of permissive path alongside Memorial Ave with long distance northwestern views to Shiplake Woods (AONB).

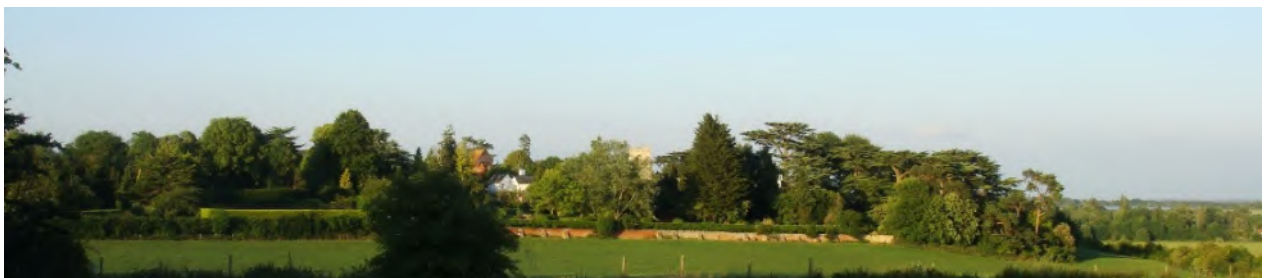


Figure 28: Henley Road approach to Shiplake Cross looking northeast as defined in Landscape Character Assessment (SPLCA), undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

Landscape Summary

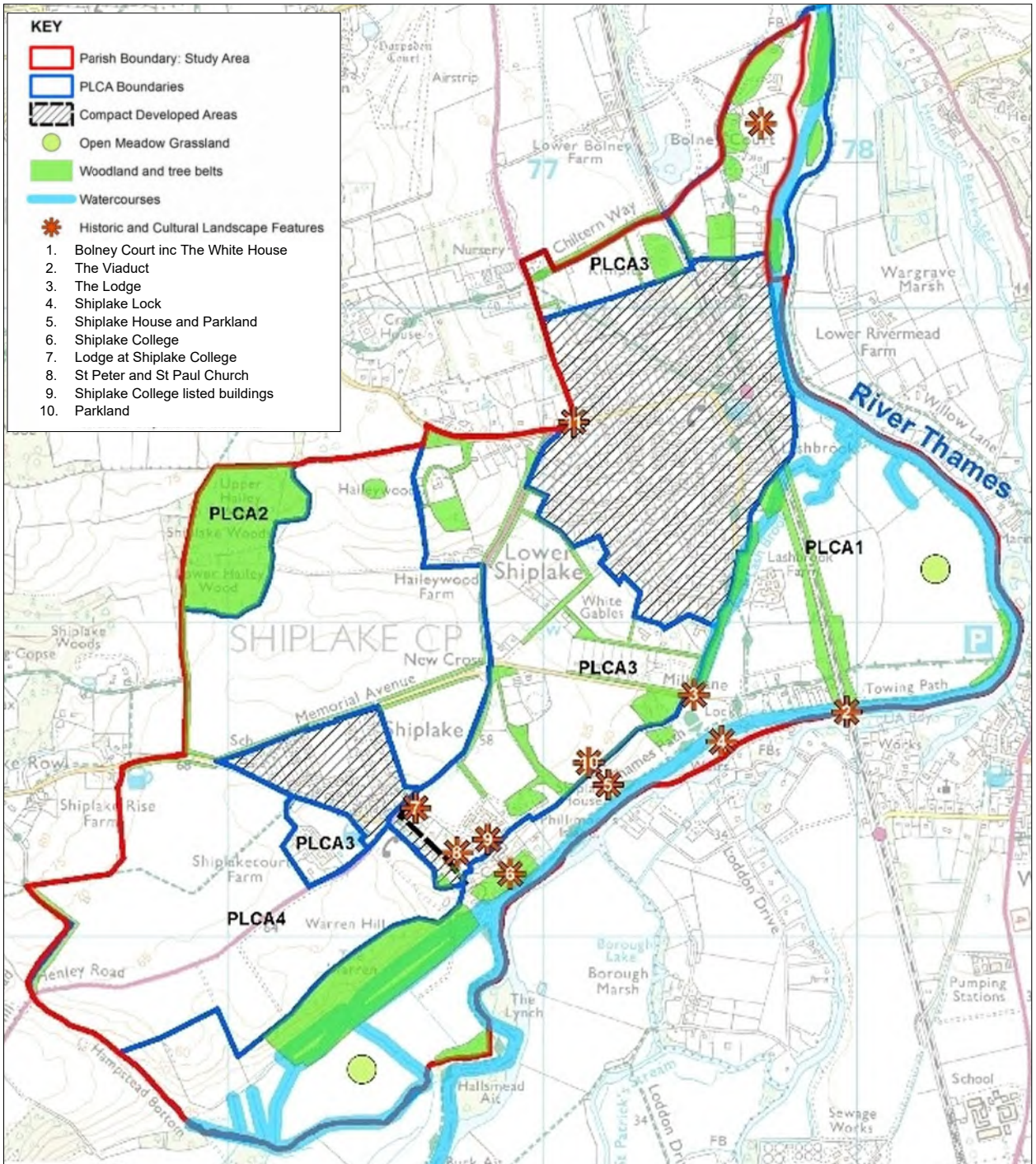


Figure 29 highlights the settlement areas as well as important landscape features throughout the parish as extracted from Landscape Character Assessment (SPLCA), undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

Summary

Each of the four landscape areas around the Parish are considered to be Valued Landscapes as set out in the NPPF or an Area of Outstanding Natural Beauty .

The recommendations for each area have been summarised and annotated in the relevant figures.

The findings of the Landscape Character Assessment have been used in conjunction with that of the appraisal of the built form character areas, to ensure that overall recommendations are highlighted to inform appropriate Neighbourhood Plan policies.

Heritage

The Parish has no conservation areas or scheduled ancient monuments.

It does however contains a number of designated heritage assets including 10 Listed Buildings, of these:

- 1 no. Grade II* Listed Buildings
- The Church
- 9 no. Grade II Buildings and structures including a number of school buildings, Shiplake House, structures around the church including the memorial and wall and gate.

These are highlighted individually in the relevant character assessments, including the setting of these buildings as appropriate, with more detail in appendix 1.

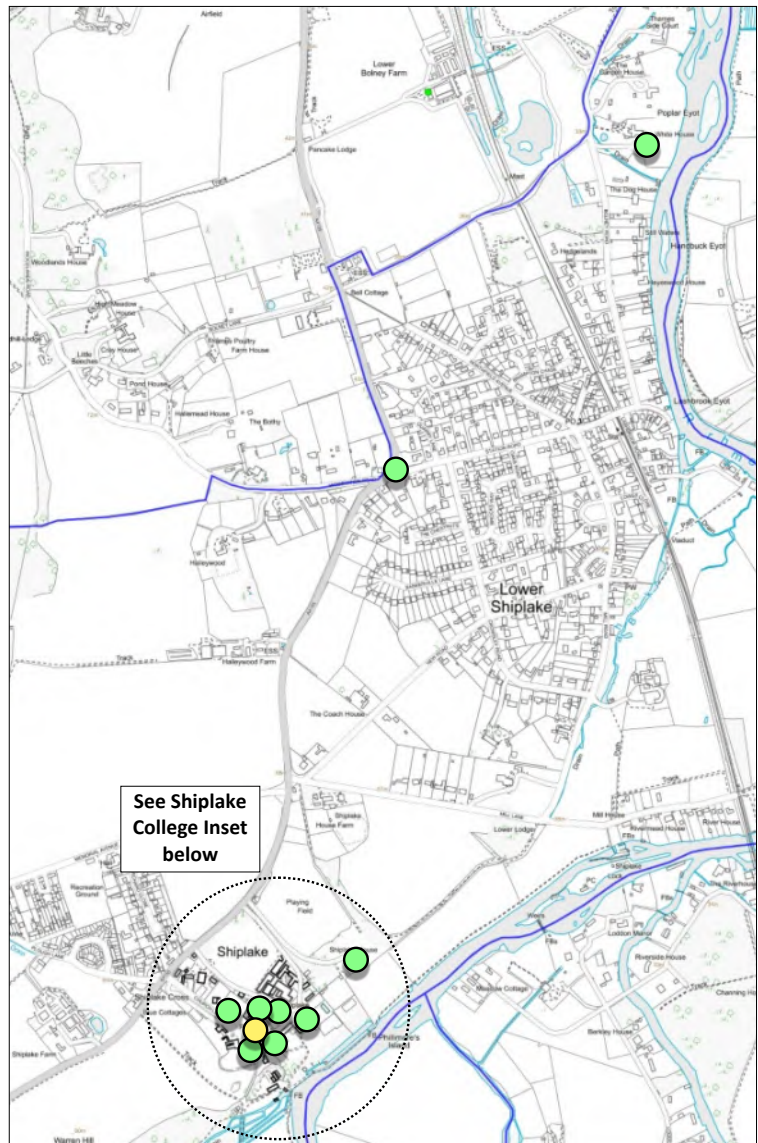


Figure 30: Overview and inset plan of designated heritage assets within the Plan area.

Methodology

The following section of the appraisal was prepared in accordance with the RTPi document entitled *“How to prepare a character assessment to support design policy within a neighbourhood plan - Putting the pieces together”*

The character assessment was then conducted using different methods: namely the RTPi character assessment toolkit and pro forma, in addition to the character assessment toolkit and pro forma, produced by Oxford City Council in partnership with English Heritage . Both were used to ensure that all areas were covered by the most appropriate assessment tools.

Both volunteers from the Steering Committee and Bluestone Planning LLP undertook the survey work which included recording in detail:

- Buildings, views, use, spaces, greenery and landscape etc as set out in more detail in the character appraisal section.
- Noting all visual features of the streetscapes and spirit of the place. All of the above will be recorded using the above pro-forma and large scale mapping.
- Noting historical and cultural influences, by referring to historical maps, photographs, local web-sites and books, archaeological records, archives and talking to residents.
- Collating records and checking against up to date sources and on site information.
- Analysis of planning application records and Estate Agent details.
- Obtaining photographic evidence to support this appraisal.
- Reporting and further consultation via a variety of methods to ensure the appraisal encompasses a true reflection of the Parish.
- Publication of a final draft to identify the key features of the Parish character areas and the implications for informing the Neighbourhood Plan process.

Date of survey - the area was surveyed and assessed during the month of June 2019.

This document has then been updated since this time, but reflects information at the time of writing.

Criteria for Appraisal

Each of the main criteria are given a score from between -5 to +5, with 0 being a neutral score.

These scores are to be shown at the end of each section and will highlight where the Neighbourhood Plan may seek to apply policies to overcome any issues

A conclusion of the findings analysis with further information to inform the Neighbourhood Plan is set out at the end of the assessment.

It should be noted that a low or negative scoring only relates to the criteria for this assessment and recommending options to support the Neighbourhood Plan.

The main criteria are assessed on the following points:

Buildings

- Contribution of buildings to the space
- Size/scale
- Age
- Materials
- Windows
- Doors
- Roofs / chimneys / gables
- Uses (past and present)
- Can you tell if a building has been altered?
- Condition

Views

- Historic / popular views
- Form of view: short or long, unfolding,
- Focal points
- Streetscape
- Roofscape
- Urban/rural views
- Views out of the space

Noise, smell & traffic

- Activities
- Level of activity
- Traffic
- Day and night
- Smells
- Noises

Greenery & landscape

- Leafy and/or green image
- Hard urban landscape
- Public/private greenery
- Does water form a key feature of the area
- Topography

Spaces

- Formal / informal spaces
- Gaps between buildings
- Means of enclosure
- Building plots
- Wide/open spaces
- Narrow / enclosed spaces
- Winding / straight spaces
- Relationship of the space to buildings and structures
- Uses and activity
- Paving materials
- Street furniture
- Impact of vehicles and traffic
- Usability and accessibility of the space

Spirit of place

- Initial reaction to the area
- Does it provide you with a positive, neutral or negative response

Character Appraisal

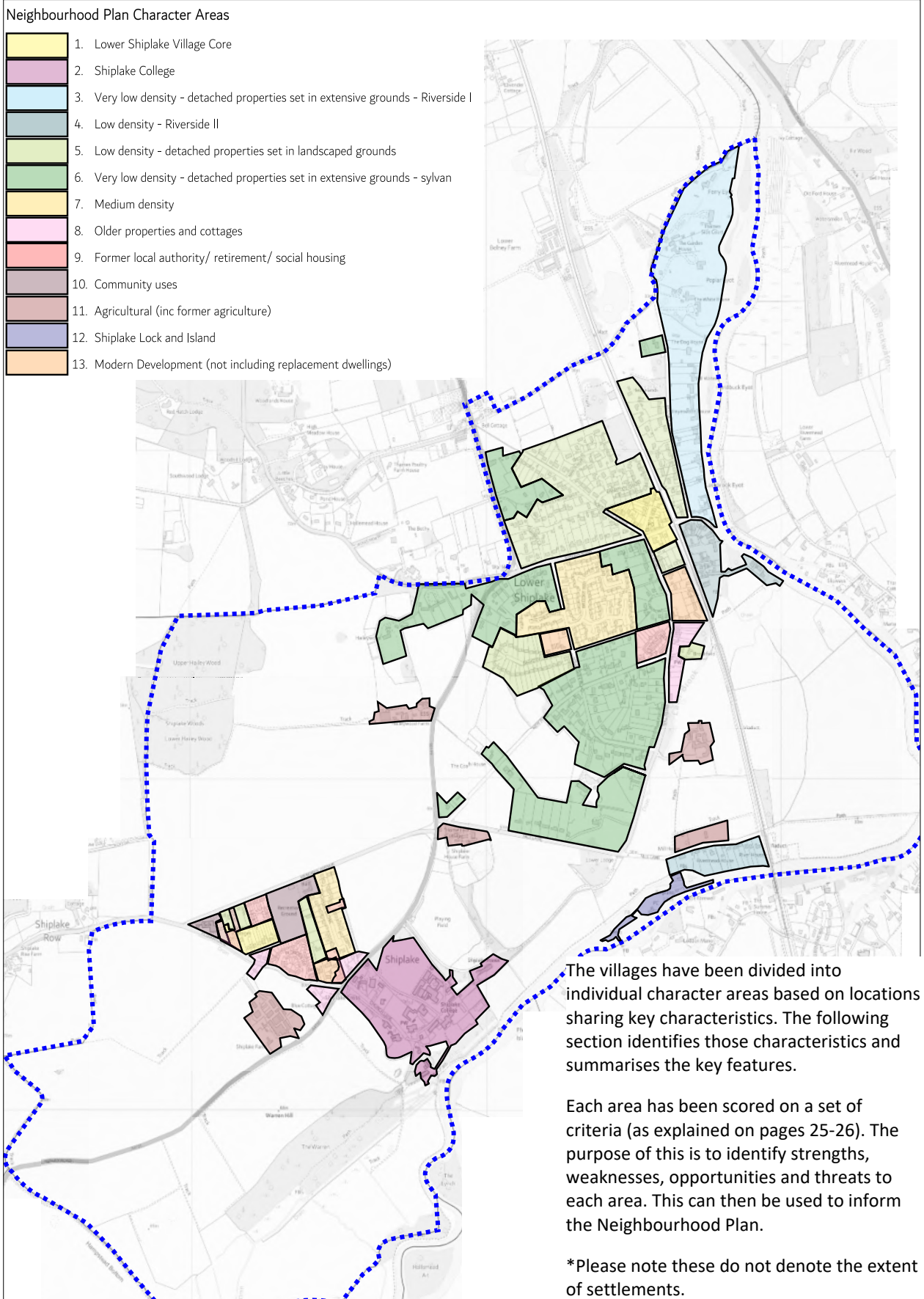


Figure 31: Character Areas

Area 1. Lower Shiplake Village Core

Main Characteristics

- 1920/30s development
- Mixed commercial and residential
- Largely 2 storey
- Principally detached or semi-detached with generous gaps between properties
- High levels of frontage vegetation
- Density of 14 dph

Key facilities

- Post office / small convenience store
- Butchers
- Car Garage
- Train station / level crossing
- Public house 'The Baskerville'

General overview

Village centre of Lower Shiplake provides the focus of the village amenities including the train station, interspersed with medium density, predominantly detached, residential dwellings set out in a traditional format.

Layout, spaces

Wide roads providing views to the main junction. The building line is set back from the road behind verdant gardens and green spaces with mature trees and hedges scattered through out.



Figure 32: The centre of Lower Shiplake looking east toward the station



Figure 32a: The Baskerville Public House

The area around the car garage and train station are less verdant with the emphasis more on car parking and functional land use.

Topography

Very gently sloping east to west with an incline at the level crossing.

Roads, streets, routes

Straight, low speeds roads forming a traditional cross road / junction as a focus for this character area.

Green and natural features

Mature trees and hedging predominantly within front gardens and as boundary treatments.

Building and details

The housing stock appears to be 1920s/30s with an emphasis on red brick and white render with red clay tile roofs.

Broadly symmetrical, two storey building forms using gables, bay windows and wood framing for individual features. Vertical casement windows with upper quarter lights predominantly painted white.

Streetscape features

The junction focal point and surrounding amenities and the road radiating off into the surrounding residential areas.



Figure 33: Historic photo of The Baskerville Public House



Figure 34: Looking west along Station Road

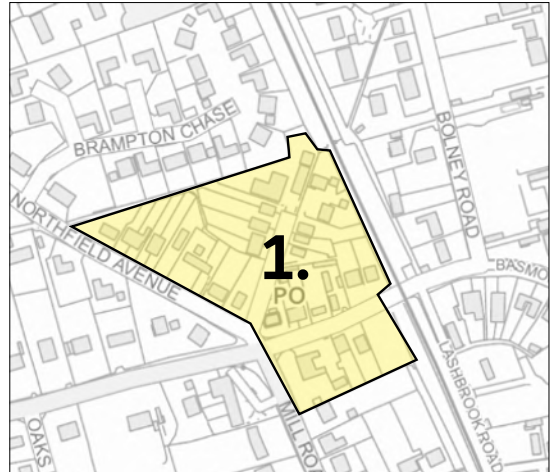


Figure 35: Looking north on Mill Road toward the crossroads in the centre of Lower Shiplake



Figure 38: The village shop and post office



Figure 36: Historic view of Shiplake Station



Figure 39: Shiplake Butchers



Figure 37: The former station buildings and the station modernised

Build.	Views	Noise Traffic Smell	Green Landsc	Spaces	Spirit
2+	1-	1-	2+	2+	2+

Area 1 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. A number of issues have been identified, largely due to the impact of the railway and other commercial uses which are not necessarily compatible in close proximity to residential properties.
2. On street parking is another negative factor and is generated from station parking overflow.
3. Where any B2 use such as the current Shiplake Motors site comes forward during the Plan period, the opportunities, constraints and key principles for development should be taken into consideration in any future redevelopment.
4. The area suffers from the pooling of water from surface water drainage issues. Whilst works have improved this over recent years, any future development should not exacerbate this problem and design should take this into consideration. It should be considered that future development in this area will be expected to contribute towards improvements.
5. Replacement dwellings, extensions and infill development, should respect the density of this area. There is limited opportunity for infill development without adverse impact on the area. Higher density development will be only be supported where it maintains the overall character of the area. Such development must not lead to over development of plots and any application should be accompanied by an analysis of the surrounding plot sizes and coverage by built form. It should also retain the generous gaps between individual buildings and a comparable level of street and front garden vegetation.



Figure 40: Detailing, fenestration and roof coverings



Figure 41: College Frontage



Figure 42: Parish Church

Area 2. Shiplake College

Key Characteristics:

- Mix of properties now focused upon the College, which sit in the former parkland setting
- Highest concentration of Listed Buildings in the Parish
- Predominantly two storey, with some college building reaching 3 storey, red brick with white/cream render and flint work as detailing.

The Church is flint with stone dressings and plain clay tiled roof

- Loose knit layout, now dominated by the College



Figure 43: Shiplake College Tudor Cottage



Figure 44: Shiplake College

General overview

Present day Shiplake Cross and historic centre of Shiplake prior to 1920s/30s development further north. Focus on the College buildings which originally formed part of the estate.

The flint and stone Parish Church of St Peter and St Paul is Grade II* listed and dates from the 13th Century with alterations in the 15th Century. It was later restored in 1869 by G. E Street.

Layout, spaces

Predominantly land owned by Shiplake College and thus set to a core of buildings with large areas of sports field, as well as boating facilities on the edge of the Thames. The majority of buildings are set back from the Church lane and there is very little publicly accessible space other than the footpath to the Thames, the Church hall and the church yard.



Figure 45: Parish Church Cross



Figure 46: Shiplake College Boathouse

The college grounds are very verdant surrounded by mature treed copses, thus limiting views through the site.

Topography

Sloping north-west to south-east towards the Thames getting steeper once past the Church.

Roads, streets, routes

Church Lane is the only public access road into this character area, it is narrow with flint walls on both sides topped by hedging.

Building and details

Shiplake College, Water Tower Grade II listed, circa 1899 by Ernest George.

The housing stock appears to be 1920s/30s with an emphasis on red brick and white render with red clay tile roofs.

The majority of boundary walls are flint with curved red coping stones.

Streetscape features

Limited due to the narrowness of Church Lane but views from the Church yard over some of the college to the Thames beyond is important.



Figure 47: Shiplake College Lodge

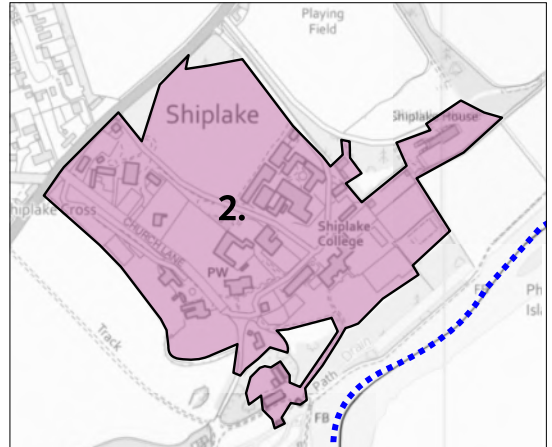


Figure 48: Shiplake College playing fields

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
5+	4+	3+	5+	5+	4+



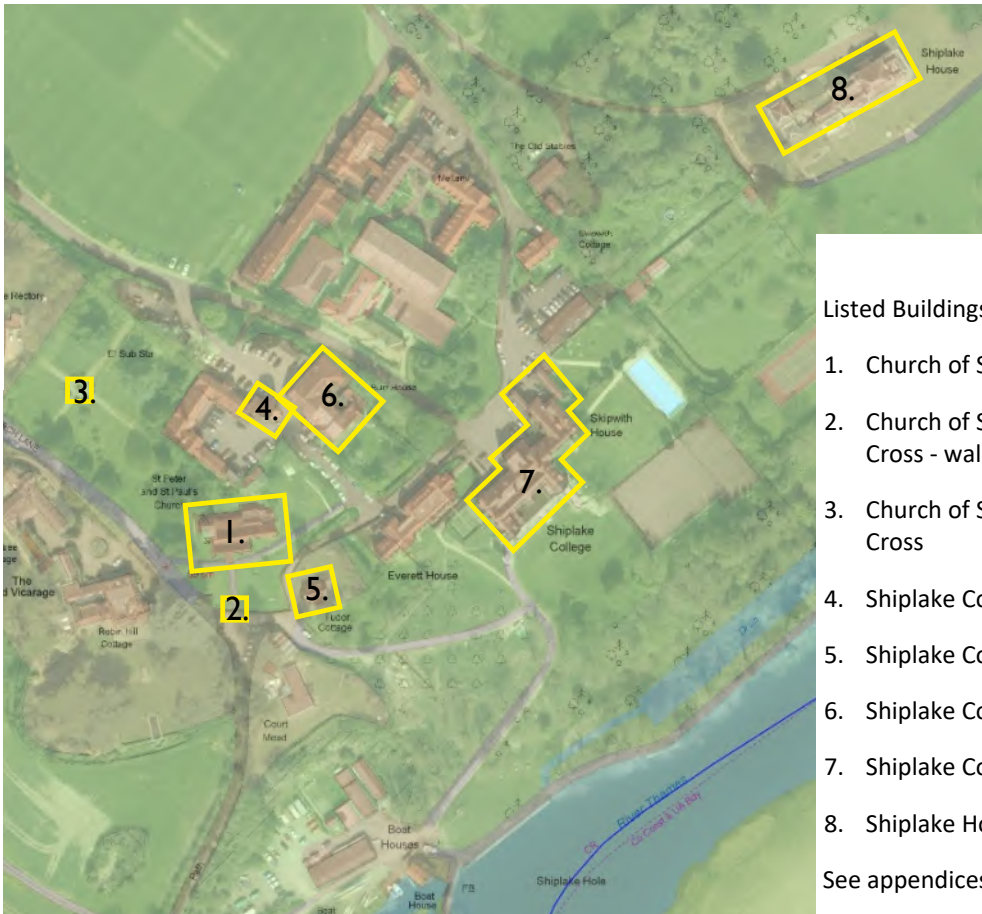
Figure 49: Aerial view of the College and Church



Figure 50: College Riverside Playing Fields looking south



Figure 51: College Riverside Playing Fields looking east



Listed Buildings:

1. Church of St Peter And St Paul
2. Church of St Peter And St Paul - Cross - wall and gate
3. Church of St Peter And St Paul - Cross
4. Shiplake College - Water Tower
5. Shiplake College - Tudor Cottage
6. Shiplake College - Burr House
7. Shiplake College
8. Shiplake House

See appendices for listing details

Figure 52: Listed Buildings in and around Shiplake College



Figure 53: View of the Thames looking southwest from the College waterfront

Area 2 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. Highest concentration of designated heritage assets. Any future development in this area or adjacent to it, is likely to have an impact on the setting and requires sufficient impact assessment and justification in accordance with the NPPF.
2. The area also has a Thames river frontage where development should be both sensitive to the riparian environment, in addition to the aforementioned designated heritage assets. Designation as a special character area could be considered for these reasons.
3. The College will need to sensitively be able to expand and maintain its buildings to meet future demand. A careful balance must be made to accommodate growth, but respect the historic and waterfront location.
4. Future development must not impede views out of and into this area.
5. Development which adversely impacts upon the skyline would not be acceptable.



Figure 54: Detailing, fenestration, wall and roof coverings - highlighting brick and flint walls, play clay roof tiles and individual detailed window treatments



Figure 55: Detailing, fenestration, and materials including detail brick diaperwork on college buildings with low key materials found on the boathouse

Area 3. Riverside Development I

Bolney Road

Key Characteristics

- Significant scale, detached dwellings, up to 3 storeys in height
- Set in extensive landscaped grounds with an average density of 1.8 dph
- No dominant style or appearance dating from 1920s onwards, unified by well landscaped plots
- River frontage
- Varied building lines usually set either centrally or adjacent to the river
- Many properties with detached boathouses



Figure 56: View across the Thames to riverside properties

General overview

Properties are set back from Bolney Road behind gated entrances and mature gardens. They are positioned in close proximity to the Thames as the majority are replacements for boat houses, which were built in the 1920s and 1930s as weekend retreats.

Layout, spaces

One side of a wide boulevard road with large mature gardens. The building footprints are relatively compact in relation to the plot sizes and are broadly in line with each other following the banks of the Thames.

Topography

Gently sloping towards the Thames

Roads, streets, routes

Bolney Road has wide verges and the east side is dominated by gated entrances with mature hedges, walls and fenced boundaries provided no views beyond to the Thames.

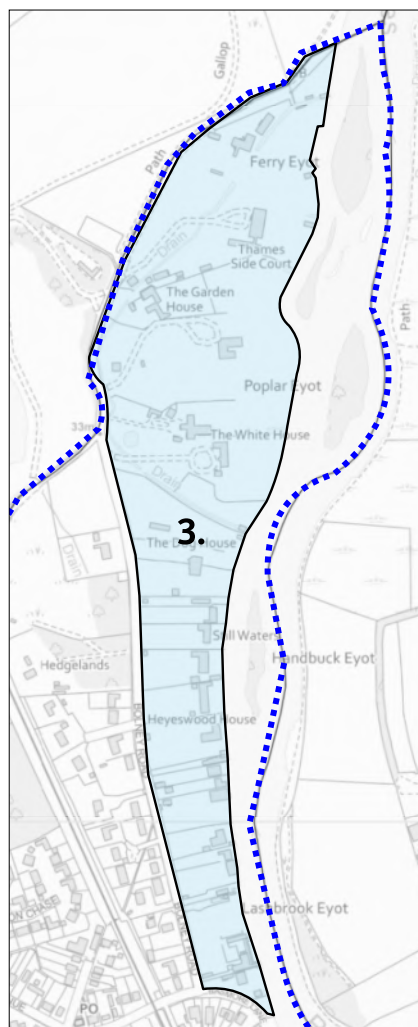


Figure 57: Aerial view of waterside properties with Basmore Lane central to the picture



Figure 58: Recent contemporary replacement dwelling



Figure 61: Vegetation along the waterfront is more sporadic to allow views over the Thames

Green and natural features

Mature trees and hedging predominantly within the verges and boundary treatments

Building and details

Mix of styles and ages as properties have been replaced and are all treated as individual properties.

Streetscape features

With the properties so far set back on the east side of Bolney Road the streetscape is notably quiet with little features other than the individual accesses to each property.

Close board and panel fences are discordant features in the street scene.

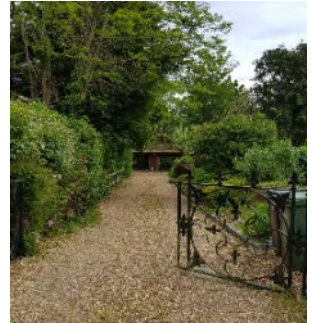


Figure 62: There are a variety of gated accesses. Many allow views through to dwellings beyond and are well screened.



Figure 59: Dwellings are contained in the landscape



Figure 63: The Garden House and surrounding dwellings are an unusual of example properties which are not set back behind a dense frontage of trees and shrubs



Figure 60: View of Bolney Court

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
5+	4+	4+	5+	4+	4+

The roadside is heavily treed on both sides giving a sylvan appearance



Dwellings are access largely via imposing gated driveways, which can often dominate the street scene if not softened by landscaping



Deep setback from roadside. Development located to maximise the riverside

Houses to the north of the character area are significant in scale with a variety of periods and individual styles

Where development is more centrally located, boat houses are situated along the river frontage



THE WHITE HOUSE, BOLNEY ROAD Listed Building Grade: II (see appendix 1 for details)



Dwelling heights vary from 2.5 to 3 storey



Houses to the south of the character area are more tightly grouped and draw more influence from their riverside location

Figure 64: Illustration of key issues and features

Area 3 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. The area benefits from a mature, sylvan landscaped setting along Bolney Road, where the majority of properties are not highly visible from public vantage points.
2. Dwellings are entirely contained by the landscape and often concealed. Redevelopment and extension could lead to a significant adverse impact. It is essential that plots are not overdeveloped, significant vegetation is not removed and substantial gaps which exist between buildings are not substantially diminished.
3. Dwellings are largely accessed via significant gated driveways. Whilst these are noticeable in the landscape, a balance should be struck between security and screen planting. The appearance should remain as an area of dwellings contained by landscaping and not dominated by built form.
4. Properties are visible from the Thames, where an entirely different more open perspective is gained. Development which would have a significant adverse impact on public views should not be supported.
5. Many dwellings have prominent and significant boat houses which give this area (in addition to the other riverside areas of Shiplake) a unique character. Care must be taken however, that there is no proliferation of riverside development which would present a harder, less landscaped edge to the waterfront.
6. Due to the extremely low density setting, the high degree of landscaping and the varied age, design and style of buildings in this riverside environment, the character area would benefit from protection to ensure that future development does not take place in a manner which may detrimentally impact on the special character of the area. Designation as a special character area should be considered in the Neighbourhood Plan.



Figure 65a/b: The verdant and informal setting of Bolney Road

Area 4. Riverside II

Key Characteristics

- Set in generous plots with an average density of 6.8 per hectare
- Predominantly large, detached dwellings of two storeys in height
- Buildings usually with elevated ground floor to allow for flood waters
- Appearance influenced by the riverside location
- Substantial gaps between buildings
- River frontage
- Visible building lines
- Many properties with detached boathouses (smaller scale than Riverside I)

General overview

More modest plot sizes and thereby the properties are in closer proximity to each other. Plots often relate to historic boat houses in this location.

Layout, spaces

Around Basmore Lane is a crescent of housing (see inset above/ fig 66/ 68) with Art Deco and boathouse influences within a layout of detached and semi-detached properties, providing a direct view of The Thames. Relatively small front gardens with an established building line set back from the unadopted road.

Those to south, layouts are linear in form and often dual aspect. Riverside influences in terms of design and appearance are more evident. The properties have direct views over the Thames.

Generally detached properties and often subject to replacement dwelling applications to take advantage of the generous plot sizes.

Topography

Relatively level riverside - within flood zone 3

Roads, streets, routes

Narrow rural lanes (largely unadopted) leading to public footpaths. Lanes bounded by hedgerows where adjacent to agricultural uses. Boundary walls often in traditional flint with brick detailing.

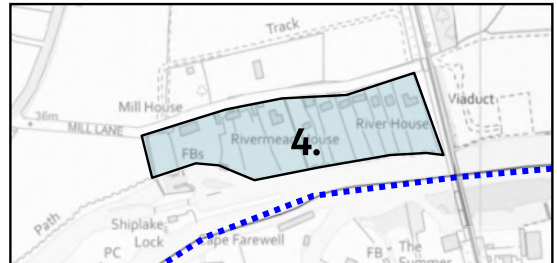


Figure 66: layout of properties around Basmore Ln



Figure 67: Replacement dwelling under construction

Green and Natural features

Well landscape, but buildings often dominate

Building and Details

The area closer to Lower Shiplake centre is more traditional 2.5 storey 1930s and art deco forms

including upper floor balconies and ornate features. The palette is predominantly red brick and white render with wood framing. Modern replacement dwellings appear to follow a mix of contemporary, render and timber clad forms or relate to traditional forms with Art Deco influences.

The area on Mill Lane, includes a mix of styles but the majority at 2 storeys high, although raised to allow flood water to pass under. The majority follow a traditional rectilinear form but the mix of building types reflects the period they were built. The palette of materials is more rural, but still echoes its riverside location.

Streetscape features

The area closer to the centre of Lower Shiplake has a strong streetscene with curved building line being clearly identifiable from the Lower Shiplake Village core.

The area on Mill Lane is much more set back with the houses not intruding on the otherwise country lane other than by boundary and access treatment.

There is a lack of street lighting and furniture.



Figure 69: houses within the flood zone have raised ground floor accommodation



Figure 70: Recent Replacement Dwelling - Ferry Cottage



Figure 68: Housing on Basmore Lane



Figure 70a: Houses are built on the waters edge elevated to take into account flood waters and allow for integrated boathouses

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
4+	5+	2+	4+	4+	4+

Area 4 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. The plot sizes are more modest in Parish terms, but still very low and the buildings are more visible from the street and other public vantage points.
2. Dwellings are set into landscaped grounds but have a visible presence on the street. The gaps between buildings are key. Redevelopment and extension could lead to a significant adverse impact. It is essential that plots are not overdeveloped, significant vegetation is not removed and substantial gaps which exist between buildings are not substantially diminished to retain the verdant riverside character.
3. Dwellings in this character area have a clear riverside influence, not only due to the fact that they are raised to account for the level of flooding which exists, but their design and appearance. New development should maintain this character and draw on such influences, with any deviation adequately justified in the Design and Access statement as to why it is not appropriate.
4. Houses in this area were often smaller dwellings with sufficient plot size to extend or replace with a larger property. There may be issues where such work would lead to adverse over-development of the plot/ and or raise the density of an area. This along with subdivision should be resisted where it would lead to an erosion of the existing character.



Figure 71: The range of dwellings on Mill Lane, many have been replaced, modernised or extended. The majority draw influences from the waterside connections

Area 5. Properties set in Landscaped Ground

Key Characteristics

- Detached, 2 storey family homes set in generous plots with an average density of 9.3 dph
- Contained by extensive formal garden planting
- Predominantly unadopted roads
- Focal green spaces, trees and planting
- Mix of dwelling types, largely two storey drawing on influences from the early 20th Century

General overview

Residential areas with high levels of privacy.

Layout, spaces

The properties are predominantly set back from the road behind front gardens and parking areas with mature boundary treatments often with verges or footpaths between them and the carriageways.

Topography

Predominantly level

Roads, streets, routes

Low speed, often unadopted, with the exception of Station Road. The former have grassed verges and tree planting along both sides, with no formal footways.

Green and natural features

Mature trees and hedging predominantly within front gardens and as boundary treatments.



Figure 72: Dwellings on Station Road have significant sized rear gardens - a number of which have been subdivided to provide backland forms of development. Such development should be treated with caution and only supported where it would not lead to over development and loss of important vegetation.

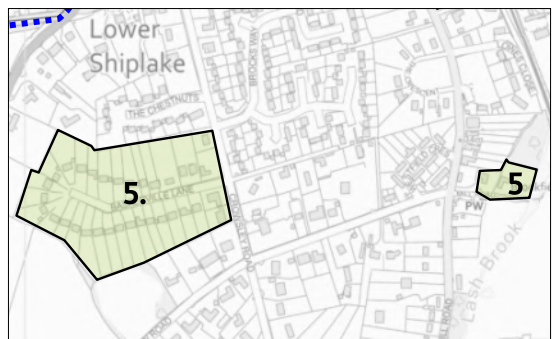
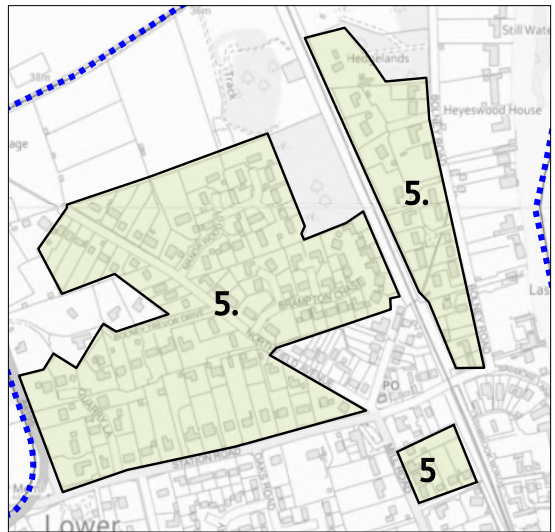


Figure 73: Focal green spaces and planting are key features within the character area



Figure 74: The western side of Bolney Road becomes less dense as one travels northwards, but is characterised by modern development or replacement dwellings

Building and details

A mix of housing stock built predominantly early mid 20th century with high levels of decoration and detailing. Largely two storey with a mix of roof forms. More simple designs and forms are usually found to the south of Station Road or within Baskerville Road, Manor Wood Gate and Brampton Chase.

Replacement dwellings often draw influence from the 1930. Later infilling has led to some small areas of slightly higher density with less landscaping which generally dating from the 1970s or 80s.

Traditional building forms with gables and vertical window forms a stronger use of render but still with Red brick and some wood framing for detail.

Streetscape features

Verdant feel, often set back with properties set well back behind high hedgerows. Close board and panel fences are discordant features in the street scene.

There is a lack of street lighting and furniture.



Figure 75: Red brick with plain clay tile and timber detailing, windows and doors predominate



Figure 76: View along Northfield Road highlighting the landscape setting



Figure 77: Properties are largely 2 storey, although there are some dormer features. Decorative balconies are apparent on older dwellings

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
4+	3+	3+	3+	3+	3+

Area 5 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. The buildings are all set within well landscaped gardens and street planting, which defines the built form.
2. The prevailing character is of detached dwellings in generous garden plots, with significant gaps between buildings allowing view of vegetation beyond.
3. Primarily 2 storey buildings with limited 1 and 2.5 storeys. Whilst no one building type or style prevails, new development must be in keeping with the overall character and spirit of the place.
4. Although to a lesser extent than Character Area 3, the planting is an essential element to the spirit of the area. New development should not remove key vegetation and retain a comparable level to that of adjacent plots.
5. There are a number of properties in this area which have larger plots. Such plots are often considered suitable for redevelopment. Where applications are submitted, the pattern of built form should be consistent with surrounding properties. The level of built form/ coverage when compared to plot size should also remain consistent with the prevailing character and both be demonstrated in any planning application.
6. New development should not lead to a reduction of planting or important gaps between buildings which would have an adverse impact on the character of the area.



Figure 78: New dwellings should seek to continue the use of decorative brickwork, timber detail and features where they are appropriate to the proposals



Figure 79: Single storey dwellings are not commonplace

Area 6. Properties set in Extensive Sylvan Grounds

Key Characteristics:

- Significant scale dwellings set in large plots with an average of 2.6 dph
- Tree lined private roads lined with grass verges
- Extensive plot sizes, often backing onto farmland
- Pockets of dwellings outside settlement with limited visibility
- No dominant style or appearance - dating from 1920s onwards, unified by the substantial levels of landscape screening
- Rural aspect
- Identifiable building lines
- Views into the character area are of glimpsed built form, well screened by vegetation

General overview

Large detached residential properties set back in large verdant plots. The majority are early to mid 20th century with some more recent replacement properties. Those towards the centre of Siplake Parish are more villa like with those further away more rural in style and set in open countryside.

Layout, spaces

Low density with an extensive space between and within each plot. Properties are predominantly set back in their plots with large front and rear gardens. Parking is usually in separate garage buildings either alongside or to the front of the property.

Often long gravel or other similar surface driveway entrances, bounded by mature hedgerows interspersed with mature trees.



Figure 80: No one style of dwelling predominates in this area, however the majority draw influences from traditional styles

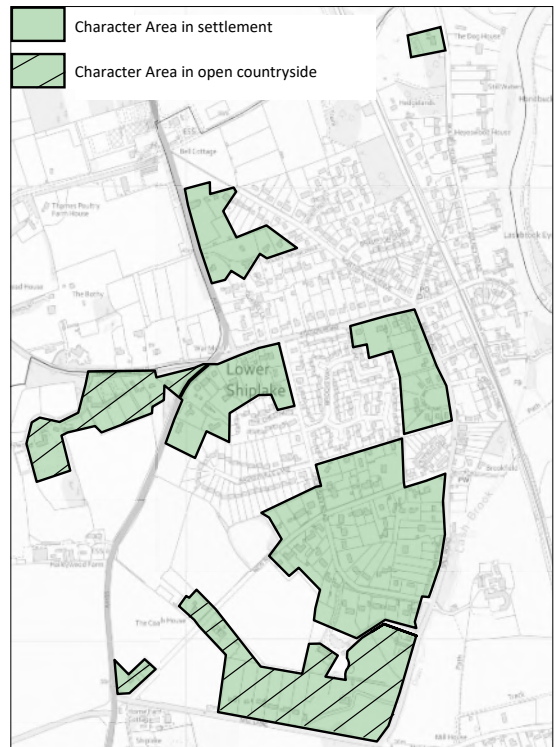


Figure 81: dwellings are often set back a significant distance in mature gardens



Figure 82: the means of enclosure is often such that only partial views of dwellings are visible from public vantage points

Topography

Predominantly level

Roads, streets, routes

Tree lined private lanes with wide verges or mature hedging boundaries to the properties.

Green and natural features

Mature gardens with a high number of trees and hedges

Building and details

The majority are up to 2.5 storeys high, with limited single storey buildings. Older properties are decorative, with modern infill and replacements often more low key and simple in form and appearance. Examples of white render, red brick and detailing in cream brick or wood as you travel throughout the area.

Streetscape features

Verdant feel with properties set well back behind high hedgerows and tree screening. Close board and panel fences are discordant features in the street scene.

There is a lack of street lighting and furniture.



Figure 84: the character area often has a rural parkland spirit due to the detailing on buildings and enclosures



Figure 85: The use of different brick colours is not commonplace unless for detailing purposes



Figure 83 Private, tree lined roads are a key feature



Figure 86: Properties often adjoin agricultural fields

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
4+	5+	4+	5+	5+	4+

Area 6 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. The character of this area is distinctive, with the emphasis of the landscape containing the development. Particularly where the character areas border agricultural fields, the impression is of glimpsed views of buildings. Any new development should maintain this character.
2. The ratio of built form to plot size is extremely low. Any new development or redevelopment should demonstrate how this has been taken into account
3. Higher density development and subdivision within settlements and open countryside is generally considered inappropriate. It would have a marked impact and detract from the special sylvan character.
4. New development should maintain the low density nature of the surroundings, with significant gaps between buildings.
5. Whilst there is a wide variety of building ages and styles, the one unifying factor is the vegetation, both formal and informal planting is used effectively and should continue in any new development, being integrated into the initial design phase.
6. Neighbourhood Plan policies should seek to protect this area and its setting from development which would undermine the special character. Designation as a special character area could be considered in the Neighbourhood Plan. It should refer to those plots both within and outside settlements.



Figure 87: Many dwellings retain a low key entrance rather than dominant, high gates and walls

Area 7. Medium/ Higher Density

Key Characteristics:

- Predominantly detached and semi-detached family dwellings
- Estate roads/ culs de sac
- Limited front gardens
- Focal trees retained
- Largely 1.5- 2 storey
- On plot parking/ garages
- Limited space between dwellings
- Smaller plot sizes
- Average density 12 dph

General overview

Developed as residential estates or small scale developments predominantly mid to late 20th century. Some older properties are located within the area.

Layout, spaces

Semi detached or closely sitting detached properties, often with only a small front garden or drive separating them from the road.

Roads, streets, routes

Wide tarmac residential road with pavements.

Green and natural features

Limited to small scale landscaping front gardens, often open plan and not enclosed. Although there are examples of retained larger trees throughout.

Building and details

Predominantly Mid to late 20th century, stock bricks with simplified features apparent from the time they are built. Some developments more ornate than others and date from earlier periods.

Streetscape features

Some focal mature trees and regular building lines close to the back of the pavement.

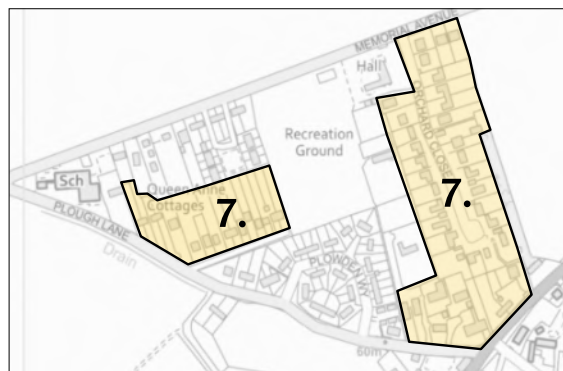
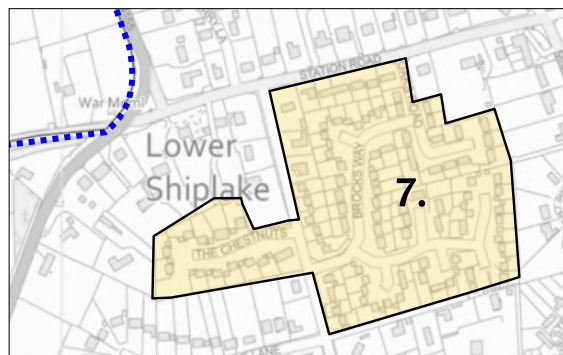


Figure 88: Housing in Brocks Way - detached or link detached set in open plan gardens.



Figure 89: More recent development sees a reduction in plot sizes and housing positioned closer to the road

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
1+	1+	2+	1+	1+	1+

Area 7 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. There is a limited amount of medium to higher density development in the Parish. In these areas, any replacement dwellings or extensions should ensure that plot sizes are not reduced to an inappropriate level .
2. Existing important gaps between buildings should be retained.
3. A number of focal trees and planting are key to the character of the area. These must not be removed unless adequately justified and replacement planting proposed.



Figure 90: Even in higher density development retention of key focal features and trees is essential to successful integration

Area 8. Older Properties and Cottages

Key Characteristics:

- Predominantly bungalows in individual detached plots with limited 2 storey housing with mid sized plots.
- Close proximity to neighbouring dwellings.
- Predominantly on-plot parking
- Mature, suburban and semi-rural setting with planted grass verges and focal street trees
- Rural views sometimes limited due to recent development

General overview

Older properties which have been subsumed in the expansion of Shiplake Parish first in the 1930s/40s and then again in the later part of the 20th century. Some cottages outside of extent of settlements.

It should be noted that there are numerous older properties within the Parish, but only those shown in a publicly visible group are included in the character map. Those properties which have been much altered over time are not included.

Layout, spaces

Often prominent in the street scene due to their character and appearance. Sited with reasonable sized front gardens or closer to the highway on smaller lanes. Dwellings face the road and are in close proximity to the properties on either side toward the centre of Shiplake villages or in isolation towards the edge of the built up areas.

Topography

Site dependent, but largely level.

Roads, streets, routes

Site dependent, but generally sited on the older more historic lanes or crossroads.

Green and natural features

Most have reasonable sized, matured gardens, well enclosed by low boundary features. Close board/ panel fencing is not prevalent.



Figure 91: some of the older houses on Orchard Close, Shiplake. Old Bell House (in distance) (formerly Old Bell Cottage and Ballabeg [left] served the former Orchard on this site. Properties benefit from views over fields.

The Victorian orchard's red brick wall runs the length of Orchard Close Eastern side.



Figure 92: Older Victorian cottages need sensitive restoration such as the above example at Walnut Tree House



Figure 93: The retention of original features is essential in retaining character such as at Newlands, above

Building and details

Late Victorian properties to early 1920s. Traditional in form in red brick (or latterly rendered) with slate or red clay tile roofs predominantly simple building forms, with use of gables and dormers. Lesser ornate features on older dwellings in comparison to those from later periods.

Often with 4 pane sash windows or cottage casements. Later dwellings often have metal framed glazing.



Figure 96: Historic maps - showing obvious clusters of historic properties

Small open and enclosed front porches often with more ornate detailing.

Streetscape features

In close proximity to the edge of the street.

Often no on plot parking and on street parking can distract from the overall visual appearance.

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
4+	3+	1+	3+	2+	3+



Figure 94: Arts and Crafts inspired detailing



Figure 95: The Plowden Arms (The Plough) is one of the oldest buildings in the Parish, although there have been many later additions and alterations

Area 8 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. Older properties and cottages make a positive and distinctive contribution to the Parish. Their use of traditional building, forms, materials and detailing are key to this. Where possible, new development should be encouraged to retain features of interest, original building forms and materials. New development should allow for the original building to still be read and understood.
2. Where on-plot parking is proposed, this should not dominate the frontage.
3. New development which would exacerbate on-street parking will not be acceptable and would further erode the low key informal nature of the setting of these buildings.



Figure 97: Historic photo of the Mill Lane cottages



Figure 98: Modern day picture - the street scene is still recognisable, but with the detracting of on street car parking

Area 9. Former Local Authority Housing

Key Characteristics:

- Close knit development with larger plots
Predominantly semi-detached, 2 storey brick houses
- limited number of bungalows
- Frontage often dominated by car parking
- Limited street vegetation with the exception of focal green space or extensive grass verges
- Density ranges between 15 to 26 dph

General overview

Generic design with a regular building form, some detailing but the majority are simple in appearance.

Layout, spaces

Small estate developments with access roads, often in a crescent form around some shared amenity space to the front.

Topography

Site dependent, but each site is largely level.

Roads, streets, routes

Low speed, purpose built residential road allowing for on street parking or parking courts/ garaging.

Green and natural features

Contains mature gardens and occasional singular specimen trees.

Building and details

Buildings are simple in plan form, 2 storey properties predominantly terraced and semi-detached with replicating features.

Where there are single properties, the design matches that above in palette and proportions.

Mainly pale coloured render or pebble-dashed or a red-brown London stock brick with cement tile roofs in grey or red.

Streetscape features

Relatively high density - although the larger plot depth reduces this.

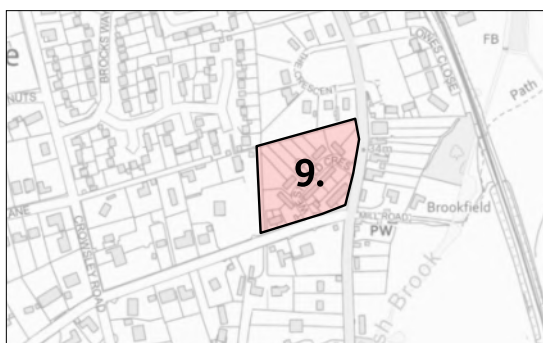
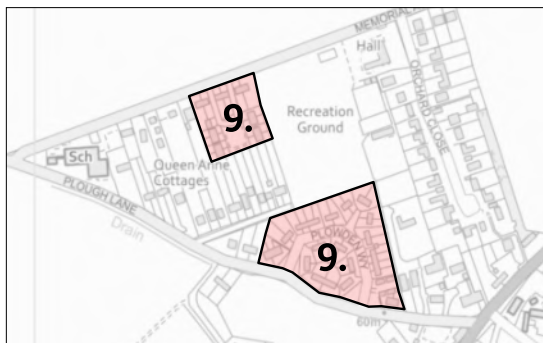


Figure 99: The prevalence of on street parking is an issue in older properties

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
0	1+	0	1+	-1	1+

Area 9 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. There is a much more urban feel to this area, where the built form is more dominant. The tight knit nature of the development leaves little room for any further development, however any further erosion of landscaping should be resisted.
2. Existing important gaps between buildings should be retained.
3. A number of focal trees and planting are key to the character of the area. These must not be removed unless adequately justified and replacement planting proposed.
4. Where on-plot parking is proposed, this should not dominate the frontage.
5. New development which would exacerbate on-street parking will not be acceptable as high levels already exist.
6. Redevelopment and extensions should not be overly dominant and should be in keeping with the appearance of neighbouring properties maintaining balance and symmetry where appropriate.



Figure 100: The density is much higher than elsewhere in Shiplake, but the retention of vegetation is of key importance.



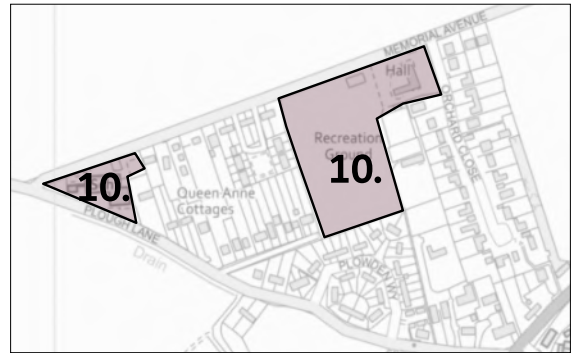
Figure 100a: The single storey development follows a similar pattern to that of the two storey properties. There is often a lack of on plot parking.

Focal trees are a prominent feature in the street scene.

Area 10. Community Facilities

Key Characteristics:

- Community buildings which are designed in accordance with the function
- Standalone buildings set in associated open space



Layout, spaces

The Memorial Hall is adjacent to the recreational grounds which are well used providing space for multiple sports pitches. The school is on a constrained site with limited potential to expand.

Topography

Predominantly flat.

Roads, streets, routes

Predominantly a residential road with limited public footpaths.

A permissive off road footpath has been provided alongside a field enabling pedestrians to use that rather than walk on Memorial Avenue, where there is a lack of a footway.

Green and natural features

The recreational ground is a large maintained grass area with mature boundary hedges and both the Memorial hall and School, have where possible, maintained planted boundary treatments.

Building and details

Each building has been to meet a specific need and function, but the Art deco tower of the Memorial hall in particular is a unique feature.

Streetscape features

Both community buildings are set back from the road behind areas of off road parking.



Figure 101: The primary school was original built in the 1800s, but later demolished and rebuilt to improve standards

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
0	0	0	1+	0	0

Area 10 - Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

Key Findings

1. The existing school building is on a relatively constrained site. Any further expansion will require sufficient land for playing fields and sports, which may have to be found off-site.
2. The Memorial Hall is an important local building, which should be sensitively maintained. Any proposals for updating or replacement, should ensure that the building and associated parking is appropriately designed.
3. Future development should respect the local vernacular. Tree planting would soften the harsh urban edges
4. Development should respect the character of adjacent areas 5, 7 and 9.



Figure 102: The Memorial Hall was built by the parents of R Mardon who lost his life in WWI, it is also dedicated to all of the men in the Parish who lost their lives during the Great War.

Area 11. Agricultural

Shiplake Farm, Shiplake House Farm, Haileywood Farm and Lashbrook Farm (formerly agricultural) within the open countryside

Key Characteristics:

- Original courtyard forms remain
- Brick built barns and other former and current agricultural buildings remain with few alterations

General overview

The area contains traditional farms which have been modernised as times have required, although the majority retain much of the traditional form and layout.

Layout, spaces

The existing farm buildings appear to relate well to the original form of the farm with buildings tight knit, in close proximity to each other rather than spread out over the wider landscape.

A number of brick built barns and other agricultural buildings remain with few alterations to the form and appearance. These are examples worthy of retention.

Roads, streets, routes

The majority of the farms are set back from the main roads and are accessible by private access farm tracks.

Green and natural features

A high number of hedges and boundary trees still remain around the farmyards, with many fully enclosed from view by planting.

Fencing is appropriate to the agricultural context with post and rail fencing, stock proof fencing and estate fencing in evidence.

Building and details

A mix of traditional farm buildings (local red brick) including farm houses and barns as well as more modern metal clad structures.

The brick built barns and buildings are good examples of their time, form and function.

Streetscape features

No formal streetscape. Buildings are rural and contained within the landscape.

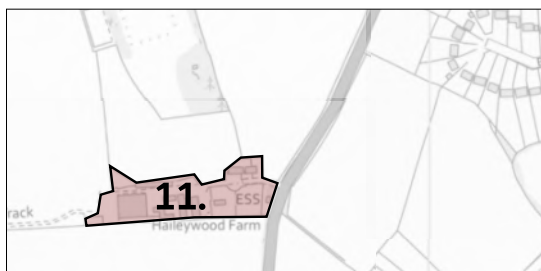
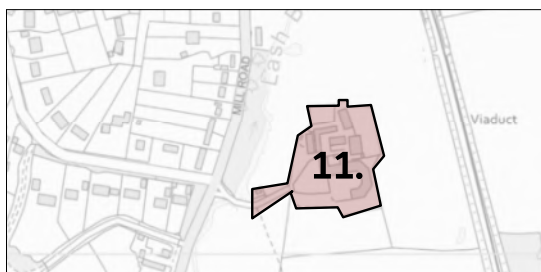
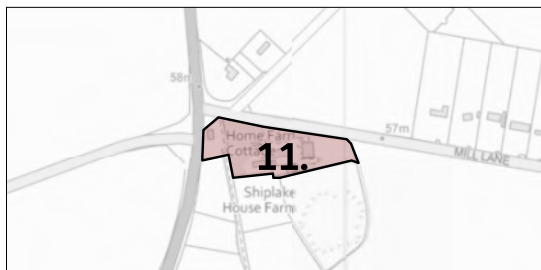
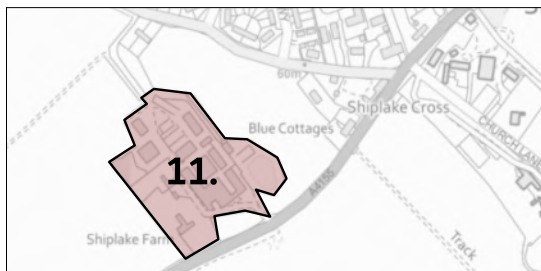


Figure 103: Shiplake Farm contains a number of traditional farm buildings such as the brick barn above

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
3+	5+	0	5+	3+	3+

Area 11 - Key findings

The following conclusions sets out the key findings from the area which should be used to inform and support NP policies and proposals.

The principles contained within this section are not only applicable to the character area in which a site is located, but those areas within its setting should also be considered.

This should be used in conjunction with the examples of positive development, palette of materials and design codes as appropriate.

Key Findings

1. The Parish contains a number of historic farms which are still in use or the former buildings retain many agricultural elements. There are some redundant farm buildings however. These are often converted under permitted development (where appropriate), it is essential that the key features of the building should be retained in any development proposal.
2. As a number of these farms are extensive in scale, there is potential for larger scale redevelopment proposals. In such cases, the original farm layout should be retained where possible and be easily understood.
3. The introduction of urbanising features would not be appropriate, as would the loss of key vegetation.
4. The farms are sited in prominent locations within the Parish and form part of the identified important views as well as the open countryside between settlements. Any new development should not contribute to a significant increase in built form, which would damage important views or the low key nature of built form in this area.



Figure 104: Redundant farm buildings are often converted under permitted development (where appropriate), it is essential that the key features of the building should be retained in any development proposal.

Agricultural conversions should adhere to a limited palette of materials including:

- Brick - red/ orange
- Timber cladding
- Modern sheet metal should be reused only in modern interpretation
- Plain Tiles red/orange/brown
- Timber / Metal windows
- Agricultural features to be retained where possible
- The insertion of domestic features should be resisted such that the original function of the building can be understood

Contemporary design must be informed by a contextual analysis. Designers should create proposals which will complement and enhance Shiplake with designs which are positively distinctive and rooted in an understanding of their context.

Area 12. Shiplake Lock and Island

Key Characteristics:

- Traditional lock and riverside appearance
- Lock Keepers cottage from 1930s
- Asset for walkers of the Thames Path and users of the river
- Significant focal feature
- Historic camping ground
- Visible in the wider landscape

General overview

A unique feature of Shiplake is the lock on the Thames and the central Shiplake Island, which is used as a campsite.

The lock dates from 1773, with the island originally used by the local mills.

The current uses and have not changed overly in form or layout since the 1930s.

Layout, spaces

The layout is dictated by the riverside form.

There is a compact tented development on the island with a heavy waterside bias.

Topography

Riverside, rising to small low lying island/ ait/ eyot areas within the body of the Thames with pedestrian bridge access.

Roads, streets, routes

Accessible via public footpath network to the Lock, but private access only to the Lock Cottage and Island.

Green and natural features

The area is contained by mature trees and vegetation relating to the water side location.

Building and details

There is a red/brown brick lock keepers cottage with the remainder being functional development relating to the lock which was originally built in 1773 and rebuilt in 1874.



Figure 105: Shiplake Lock is an historic focal point on The Thames. An area for seating has been provided for walkers to stop and rest alongside the lock. Although no public access is granted beyond.



Figure 106: The view of the Lock looking down the Thames. The view is framed by mature tree planting and the Lock Keepers cottage.



Figure 107: The adjacent Thames Path is well used and signposted

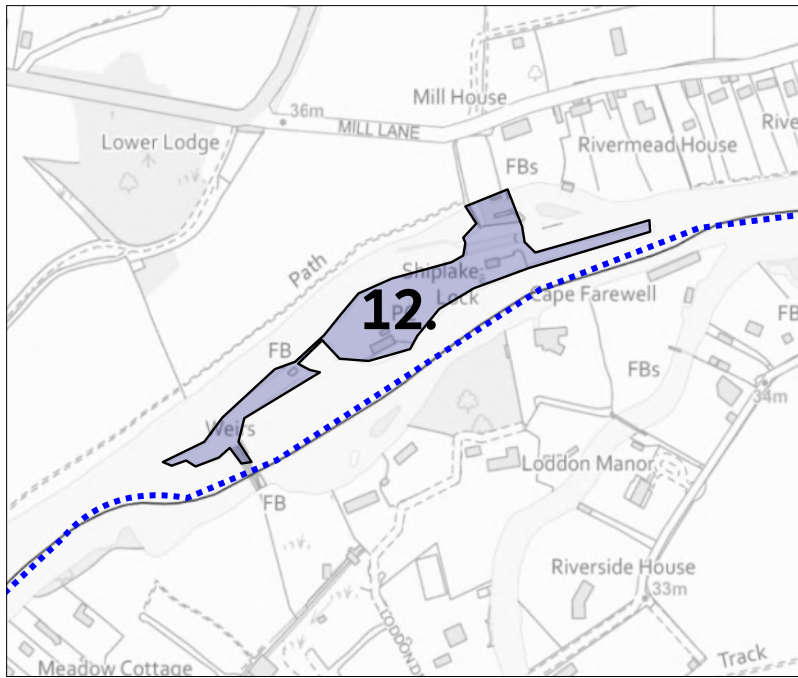


Figure 108: The lock itself is dominant feature



Figure 110: The view of the opposite river bank



Figure 109: Historic photo of Shiplake Lock



Figure 111: The centre of the lock is available for mooring



Figure 112: Aerial view of Shiplake Island with the lock beyond



Figure 113: The island campsite is a historic feature, with the layout of the tents little changed since Victorian times

Streetscape features

Not relevant

Shiplake Island

The Wargrave History Society has published the content of a talk by one of the campsite plot owners. Their website sets out that island camp site consists of 18 plots and was originally privately owned until 1891.

It should be noted however that camping had already been taking place for some time, using ridge tents.

The land was offered for auction in 1891, for potential hotel development, but it was purchased by an owner who placed a restrictive covenant to preserve the camping rights. It was latterly sold to the City of London who in 1914 granted a perpetual lease for 2000 years to the Thames Conservancy.

In the early 1900s the conservancy allowed cooking huts to be built near the tents.

Wooden huts were also in use on the Shiplake side specifically for women, as they were not allowed to sleep on the island.

At present, only a 1 year lease is available to ploholders. Notwithstanding this, the plots usually pass between family members.

As standalone features, these make dominant contributions to the Parish.

Functional and necessary community use buildings which are of a style denoting their period and function.

Both provide associated open space and car parking, but are separated from Lower Shiplake without any formal pedestrian / cycle routes between.

Build.	Views	Noise Traffic Smell	Green. Landsc	Spaces	Spirit
1+	5+	3+	5+	5+	5+

Area 12- Key findings

The following conclusions set out the key findings from the area which should be used to inform and support NP policies and proposals.

The principles contained within this section are not only applicable to the character area in which a site is located, but those areas within its setting should also be considered.

This should be used in conjunction with the examples of positive development, palette of materials and design codes as appropriate.

Key Findings

1. Shiplake Lock and island has its own unique character, which could be subject to development pressure, particularly from recreational and tourism uses. Whilst the island currently operates as a campsite and there are a number of moorings in this area, these are at present, fairly low key activities. The site is an important feature in the landscape and in the key views. It is highly visible from the Thames Path. Any intensification of these uses would have the potential to fundamentally alter the character of this area. Designation as a special character area could be considered in the Neighbourhood Plan.
2. Replacement of the canvas tents should be undertaken on a similar, low key basis with the potential for modernised canvas and wooden structures.



Figure 114: The comparable historic view highlights an almost identical view to that of present day, with the exception of the Mill in the background

Modern Development

Key Characteristics:

- Small development schemes, which largely utilise previously developed land

Much of the modern development in Shiplake consists of replacement and single new dwellings.

There are a small number of developments in recent years/ currently under construction.

This area has not been graded unlike other areas, but comments have been provided on individual schemes.



Figure 115: The use of high quality brick and detailing is essential in the Parish. A careful balance should be found between creating a poor pastiche and buildings which draw on surrounding influences

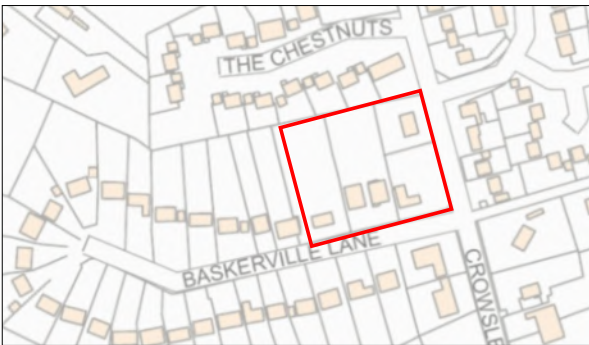


Figure 104 & 105: The redevelopment of the previous houses on Baskerville Lane (see original site location above), raised the density from 5 dwellings to 8.

Whilst the western part of the development clearly retains comparable plot sizes when compared to the remainder of Baskerville Lane, the corner plots are much more dense.

This clearly reflects the location on Crowsley Road, where the plot sizes diminish significantly. It could however be argued that the semi-detached dwellings with further reduced plot sizes are out of keeping with the character of the area.

Adequate justification should accompany planning applications to demonstrate a variation from the predominant character and an analysis of its proposed potential impact.



Figure 116: There are number of properties under construction, such as these in Mill Road, which replaced Sydney Harrison House. The new flats and houses being constructed have been designed to follow the dominant building line



Figure 117: The private sale properties have drawn design cues from the traditional forms of development found in the Parish



Figure 118: New housing on Baskerville Lane appears dominant in the street scene, particularly when approaching from Crowsley Road. Significant planting is required to ensure successful integration upon completion



Figure 119: Baskerville Lane Redevelopment - with original lower density seen below the higher density marked in orange

Appraisal Outcomes

Appraisal Criteria Ordered by Character Area						
Character Area	Build.	Views	Noise Traffic Smell	Green. Landsc.	Spaces	Spirit
1	2+	1-	1-	2+	2+	2+
2	5+	4+	3+	5+	5+	4+
3	5+	4+	4+	5+	4+	4+
4	4+	5+	2+	4+	4+	4+
5	4+	3+	3+	3+	3+	3+
6	4+	5+	4+	5+	5+	4+
7	1+	1+	2+	1+	1+	1+
8	4+	3+	1+	3+	2+	3+
9	0	1+	0	1+	-1	1+
10	0	0	0	1+	0	0
11	3+	5+	0	5+	3+	3+
12	1+	5+	3+	5+	5+	5+

The adjacent table highlights all scores for each individual character area. Where the table shows a ‘-’ score, this is considered an area where some potential may exist to improve the issues.

The appraisal findings have identified that the key issues relate to traffic and parking, erosion and protection of important green spaces and vegetation, protection of heritage assets.

Whilst all areas have a positive score, areas which received a low positive score indicates that there are areas of potential for improvement.

The plan overleaf highlights the findings of the character appraisal, which has also been overlaid with some of the findings of the Landscape Character Assessment to show how areas of built form and the natural environment respond to each other.

Appraisal Conclusions

The findings of the character area assessments have been brought together on this page.

The areas have been graded according to their density as shown in the above plan. Those areas with a very low density are shown with a darker green highlight, progressing through to yellow and on to dark red for a high density.

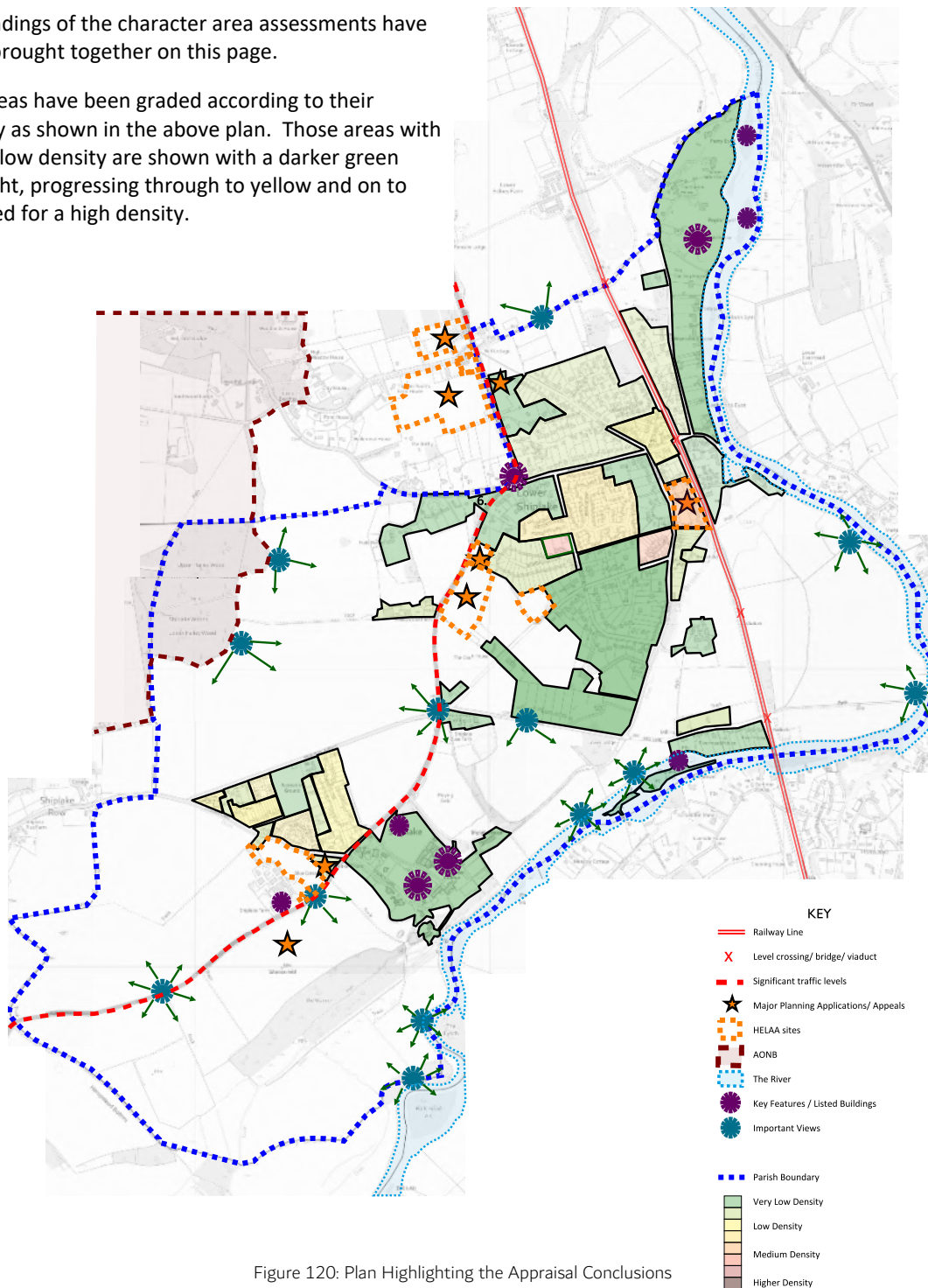


Figure 120: Plan Highlighting the Appraisal Conclusions

It is clear from the above plan, that the majority of areas are very low to low density, with only the central village areas raising to medium density.

Where recent modern development has taken place, the density has increased with low levels of landscaping and or a proliferation of visible car parking, this has also had a negative impact. This does not include any recently permitted development,

which is covered in the Landscape Character Assessment.

This is not to say that all modern development is considered unfavourably. On page DG16 are a number of examples of new development within the villages which are considered positive examples.

The parish wide Design Conclusions, Principles and Recommendations are set out overleaf.

Shiplake Villages Design Guide

Design Conclusions, Principles and Recommendations

Below is a summary of the conclusions, principles and recommendations which have been identified and could lead to a range of policy principles being established to inform the Neighbourhood Plan. These recommendations should be read in addition to key findings set out in the individual character areas.

1. Architectural Quality, Materials and Detailing

Quality and Detailing

- a) Evidence must be submitted to support any planning application to demonstrate that the design and materials used, the amount and type of decoration and functional elements (such as the position and type of doors and windows, flues, chimneys, gutters and flashing, etc) has been considered complement the local vernacular.
- b) Building forms and layouts as well as appearance and materials, which do not draw any influence from the local vernacular, giving them a generic appearance, should not be supported.
- c) Architectural detailing in new development shall typically display elements that balance with those on existing traditional buildings in terms of interest, scale and texture and form. The design of extensions and new buildings should reflect this level of detailing to ensure that the development is in context with its surroundings.
- d) Existing period detailing should be retained and the covering over or removal of such elements is not encouraged.

- e) Traditional elements often include detailing around windows including cills, quoins and masonry detailing, door surrounds or porches and timber framed, sash windows.
- f) Attention to high quality architecture and architectural detailing which avoids pastiche is encouraged.
- g) The inclusion of details should be undertaken with care as overly detailed elevations can appear fussy.
- h) Identify opportunities to make a positive contribution to character. New development that has considered the local context will reinforce and enhance the local identity.
- i) Contemporary design must be informed by a contextual analysis. Designers should create proposals which will complement and enhance Shiplake with designs which are positively distinctive and rooted in an understanding of their context.

Materials

- j) A typical palette in Shiplake Parish includes, red/orange bricks, hanging tiles, decorative timber framing, timber painted windows, clay and slate roof tiles, decorative ridge tiles and finials, external porches and door and window surrounds.
- k) When surrounded by buildings of a traditional design and appearance, proposals for innovative, sustainable, energy efficient and complementary material options could also be supported, but must be well justified as to why they are appropriate.



Figure DG1: Examples of local detailing, fenestration and materials

- l) Materials that are durable, high quality and easy to maintain are preferable.
- m) Differing materials on an extension or a different design approach may result in a development appearing incongruous. Whilst, exceptionally, an extension may intentionally be designed to be contrasting, such an approach will need to be carefully justified and its success will rely on a high quality design.
- n) Good quality materials are those which will stand the test of time, by being robust, durable, visually attractive and interesting, sustainable and that complement the local vernacular.

The examples below highlight those materials and design elements appropriate to the Parish:

- Brick, brick with contrasting quoins, brick and flint
- Plain Clay Tiles red/orange and red/brown
- Decorative ridge tiles and finials



Figure DG2: Examples of local detailing, fenestration, boundary treatments and materials

- Prominent and decorative chimneys
- Timber Framing - decorative (not structural)
- Brick banding and detailing
- Timber / Metal windows (sash and cottage casement)
- Dormer windows
- Bay windows
- Painted Render
- Timber cladding (particularly boathouses)
- Timber Balconies - small, often frontage or overlooking the river
- Timber Porches - open and enclosed
- Prominent gables
- Prominent and decorative bargeboards

2. Agricultural buildings - Extensions/ conversions

Historic Farms

- a) The Parish contains a number of historic farms which are still in use or the former buildings retain many agricultural elements. There are some redundant farm buildings however. These are often converted under permitted development (where appropriate), it is essential that the key features of the building should be retained in any development proposal. The introduction of urbanising features would not be appropriate, as would the loss of key vegetation.
- b) The farms are sited in prominent locations within the Parish and form part of the identified important views as well as the open countryside between settlements. Any new development should not contribute to a significant increase in built form, which would damage important views or the low key nature of built form in this area.

Extension and Conversions

- c) Agricultural buildings contribute to the rural setting, the character and appearance of Shiplake and conversions to these buildings should reference age, design, form, materials used, roof structure and the presence of any architectural detailing.
- d) The introduction of overtly domestic features and additional window or door openings tend to be out of character.
- e) Retention of existing features and a simple design approach is usually most appropriate.
- f) Large extensions or ancillary buildings are not usually appropriate for conversions. Landscaping and boundary treatments need careful attention and should be designed to be as informal and simple as possible.

3. Boundary treatment

- a) Where development affects the boundaries of a property, new development should consider boundary treatments which are common or complimentary to the street.
- b) In areas 1,2 7, 8, 9 and 13, boundary treatments such as garden walls, timber fences and vegetated hedgerows are common.
- c) In areas 3, 4, 5, 6, 11 and 12 boundaries are largely comprised of dense planting.
- d) A careful balance needs to be struck between gated entrances providing security and dominating the street scene.



Figure DG3: Examples of boundary wall treatments and materials

4. Building line and Siting

- a) The set back of new buildings should respect the existing building line along the street.
- b) Many areas except area 2, 3 and 6 have clearly defined building lines, which should be respected.
- c) Existing front gardens should be retained to ensure a green setting to the building, enhance the public realm and provide a suitable buffer between the built form and the surrounding rural setting.
- d) The siting and proportions of proposed houses should match adjacent houses of the same building type.

5. Conversions of chapels, churches and schools

- a) The potential future change of use and conversion of these buildings should ensure their defining characteristics are retained and enhanced. Pastiche should be avoided.
- b) The introduction of conspicuous domestic features, additional window or door openings tend to be out character.
- c) Existing window openings, window detailing's and ecclesiastical features should be retained and refurbished.
- d) Additional floors should not visibly cut across tall windows.
- e) Large extensions or ancillary buildings can dominate the original building and so detract from its character.
- f) Landscaping and boundary treatments should be designed to be as simple as possible.

6. Density, Plot and Dwelling Size

Density

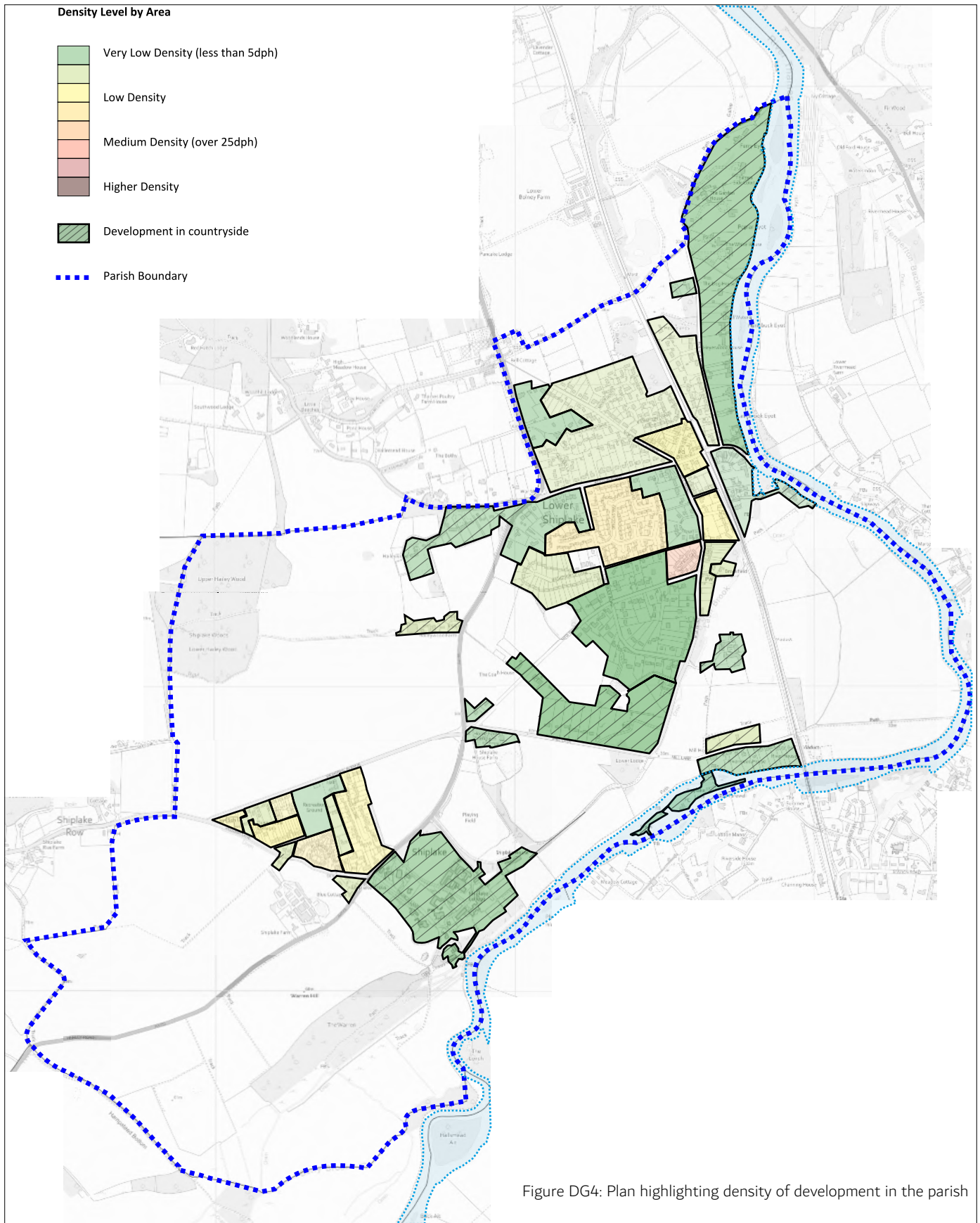
- a) The average density of the Parish is extremely low. Recent replacement dwellings, extensions and infill development, have not always respected the density of the area in which it is located. This has led to incongruous modern development which is dominant and discordant in the street scene. New proposals must demonstrate how they are in keeping with surrounding densities. Over-development of plots should be resisted.
- b) The density level of each area has been defined (and illustrated on Fig DG4), such density should be respected.
- c) Given the relatively low density of much of the Parish, a balance must be struck between making best use of land and the adverse impact on these character areas. A significant increase in density, is unlikely to be acceptable.
- d) Single conversions or replacements - In exceptional cases, it may be appropriate to replace with a small group of dwellings - each assessed individually.

Dwelling Size

- e) New dwellings should be of a size, scale and form which is consistent with surrounding properties.
- f) This is emphasised by the pre-submission consultation responses, where it is clear that there is limited support for the creation of further small dwellings in the majority of character areas.

Plots - Space Around Buildings

- g) Plot sizes should reflect those of the surrounding properties.
- h) Gaps between buildings should be comparable, particularly where these are a key feature of the area as identified.



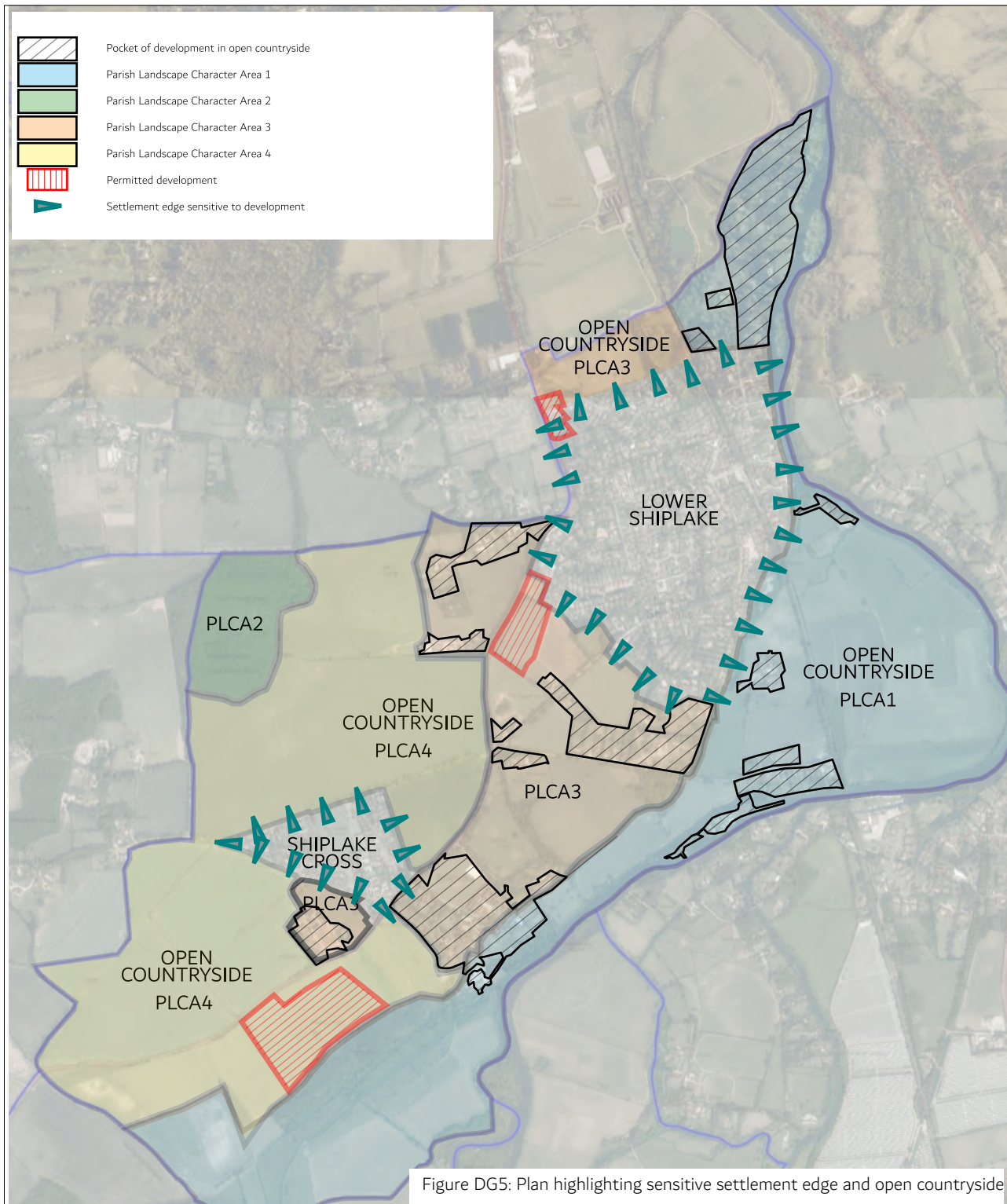


Figure DG5: Plan highlighting sensitive settlement edge and open countryside

7. Development in the Countryside/ Edge of Settlement

a) The land between settlements - Lower Shiplake and Shiplake Cross in addition to Lower Shiplake and Henley contain limited pockets of built form and are considered open countryside (see Fig DG5). These are usually relating to farm buildings and cottages, which are considered appropriate to the rural context. These should remain rural in appearance and the plots not

developed to such an extent which would lead to visual or physical coalescence of settlements.

b) New development should maintain the open rural landscape character and not lead to cumulative erosion of character and identity.

c) Any recent permissions within the existing gap should not be used to justify expansion of either settlement, particularly where it would lead to urbanisation and or removal of vegetation.

Edge of Settlement Development –

- d) Modern development on the edge of the built up areas of the settlements must be contained by the landscape. Any development in these areas should not lead to a hard built form edge or loss of important vegetation.
- e) Important rural views over of the wider landscape must be maintained.

8. Flooding

- a) Large areas of the Parish suffer from flooding and drainage issues (see Fig DG6 and DG7), any future development should not exacerbate this problem and design should take this into consideration.
- b) Lower Shiplake suffers from the pooling of water from surface water drainage issues. Whilst works have improved this over recent years, any future development should not exacerbate this problem and design should take this into consideration. It should be considered that future development in this area will be expected to contribute towards improvements.



Figure DG6: Plan highlighting the surface water flooding issues in Lower Shiplake (darker blue are areas at high risk of surface water flooding)



Figure DG7: Plan highlighting the River flooding issues in Lower Shiplake (blue areas are those at risk of flooding)

9. Frontages

- a) New building frontages should propose a level of detail based on the detail used on existing original buildings within the area.
- b) Where period details are proposed it is advised they are based on a local historical precedent.
- c) See materials and detailing palettes on pages DG1 - DG2.

10. Garages and Outbuildings

- a) Garages, cycle stores and bin stores are a feature of modern living, and should be included as an integral part of the overall design from the outset.
- b) Design outbuildings and bin storage to be subordinate to the dwellings.

11. Gardens

- a) Gardens and the mature vegetation within them should be retained to ensure that each building has an attractive, verdant setting.
- b) Gardens should be of an appropriate size relating to the size of dwelling and in keeping with those of surrounding dwellings.
- c) Garden amenity space should be usable and not overshadowed or overlooked.
- d) Front gardens should be provided with lawns, tree planting, hedges and only small areas of hard surfacing either aggregate or paving.
- e) Proposals that provide SUDs solutions and permeable paving are preferable.
- f) Proposals which affect the front of properties shall be accompanied by detailed plans which show a commitment to retaining and enhancing attractive, well-vegetated gardens.
- g) Vegetation planting in private front gardens should be in with the rural context of the relevant character area.

- h) Where structures along the frontage are proposed, sufficient planting should screen elements in view of the street.

Driveways

- i) Reduce the dominance of gated driveways, particularly where imposing, built structures are discordant with an otherwise soft, well vegetated approach.
- j) Where hard-surfacing for car parking in front gardens is necessary, it should be screened from view of the street by trees and hedge planting.

12. Green infrastructure

- a) New development should reinforce the well-managed network of grass species rich verges, hedgerows and woodland lining the routes through the area, which are characteristic of the rural landscape.
- b) In areas 3, 4, 5, 6, 11 and 12, the natural landscape is the dominant feature; the buildings secondary.
- c) Vegetation can be used to blend buildings into their surroundings and draw the natural landscape into the settlement.

14. Heritage and Restoration

- Restoration of existing buildings of age in the Parish is preferable to the demolition and replacement of buildings.
- Where buildings are modernised, it is advised existing proportions of doors and windows should be considered.
- Materials used for the repair or alteration of buildings and for surfacing and boundaries shall be in keeping with the existing building or complement the overall design.
- Area 2 has the highest concentration of designated heritage assets. Any future development in this area or adjacent to it, is likely to have an impact on the setting and requires sufficient impact assessment and justification in accordance with the NPPF.

A full list of designated heritage assets is found in appendix 1.

Non Listed Older Properties

- Older properties and cottages dating from pre 1940s make a positive and distinctive contribution to the Parish. Their use of traditional building forms, materials and detailing are key to this. Where possible, new development should be encouraged to retain features of interest, original building forms and materials. New development should allow for the original building to still be read and understood.

15. Infill and Redevelopment

- In areas 1, 3, 4, 5, 6, 7, 8 and 9 infill and redevelopment of plots can alter the character of a village if not carefully designed.
- Infill development can be integrated provided the design and layout of the new buildings respect the traditional street scene and character of the area is respected.

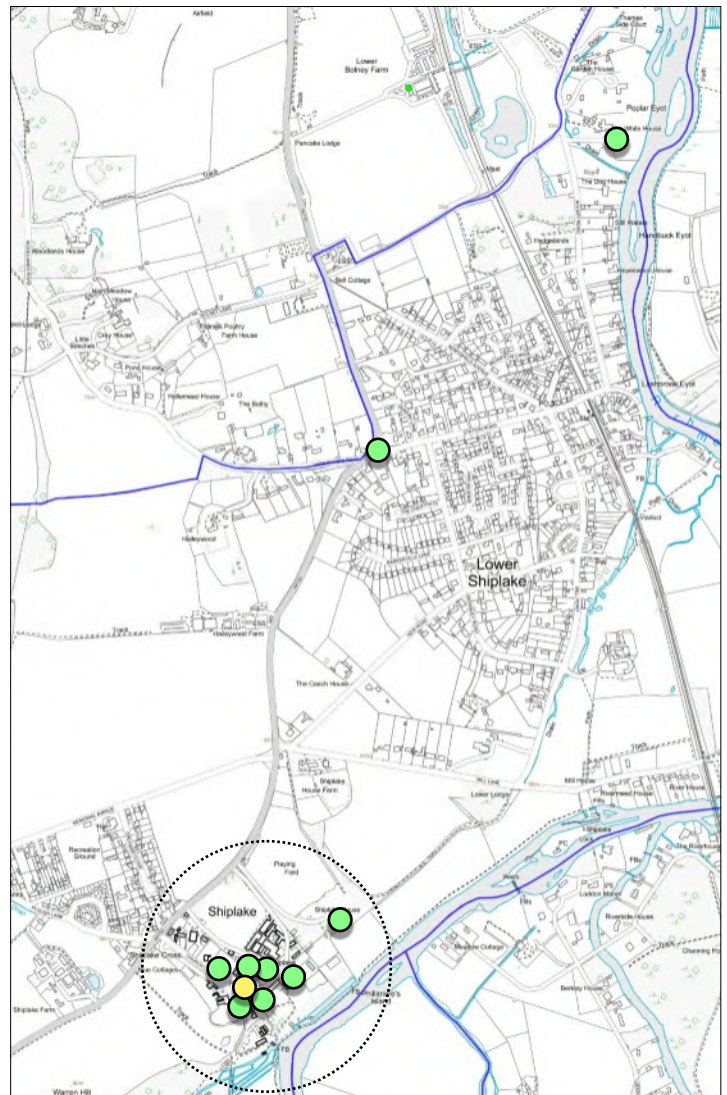


Figure DG8: Plan highlighting designated heritage assets in the parish

- c) Proposals for infill development will be accompanied by a Design and Access statement which includes a contextual analysis to highlight how the design has taken into account the characteristics of the site and its surroundings.
- d) Materials used in new infill and redevelopment should complement the materials typical of the existing buildings in the street scene.

urban edge which is out of keeping with the remaining verdant character. New development should minimise the removal of vegetation, particularly in areas where it is identified as a key characteristic as shown in fig DG9.

- b) Mature trees should be retained particularly in the special character areas or where identified in the Character Appraisal.
- c) Any tree lost to development should be replaced with an appropriate species.
- d) Retention of all trees and hedgerows, especially along property boundaries is vital. If trees and hedges do need to be removed, they should be replaced within the site.

16. Landscaping, Trees and Vegetation

- a) Maintain the mature, sylvan landscaped setting. Unsympathetic modern development has led to the removal of key vegetation, this is particularly a problem where the built form is contained by the landscape and its reduction reveals a hard,

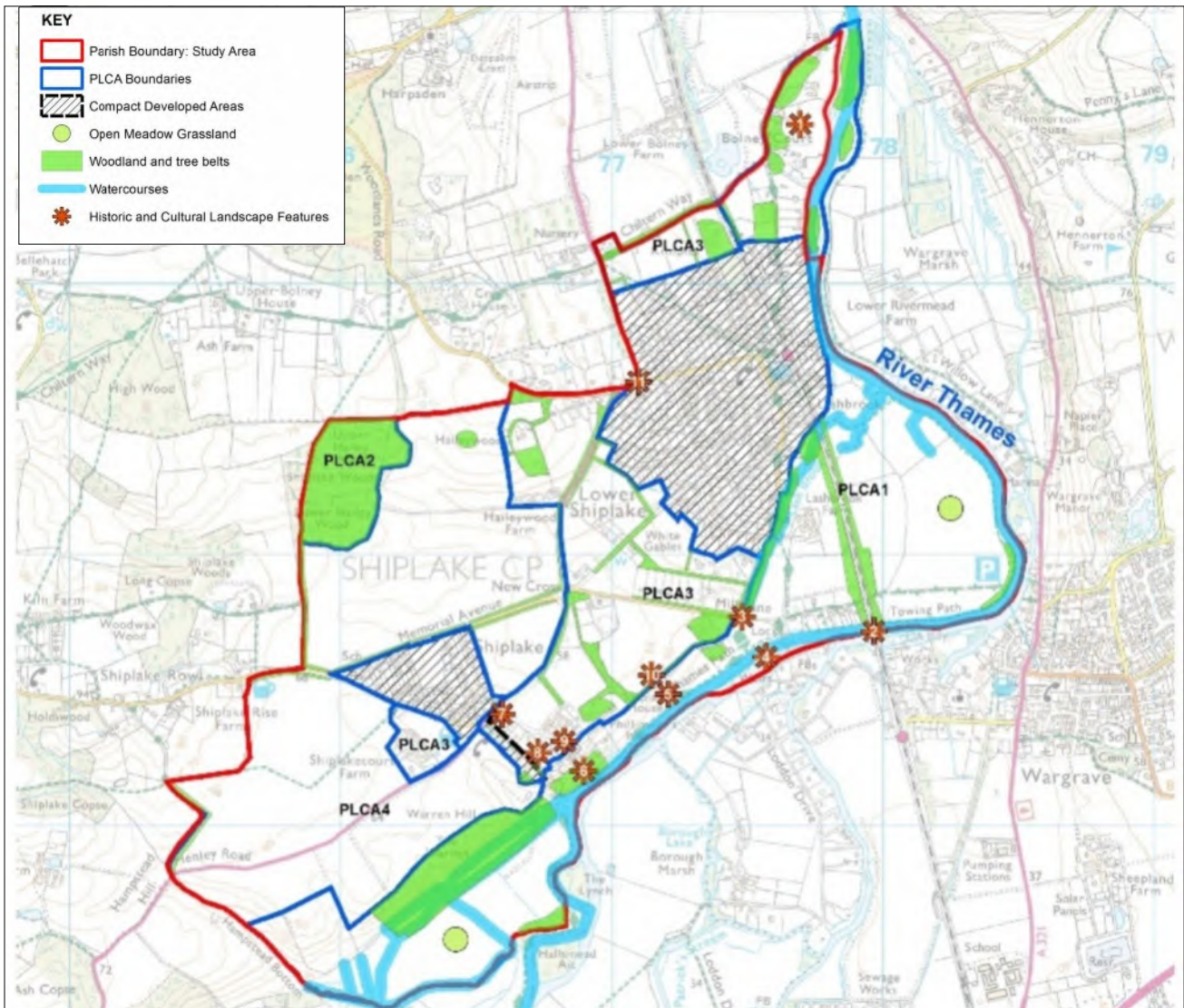


Figure DG9: Plan highlighting important natural features in the parish - as extracted from Landscape Character Assessment (SPLCA), undertaken by Kirkham Landscape Planning Ltd/The terra firma Consultancy Ltd

16 Lower Shiplake Centre

- a) Support for development in the centre of Lower Shiplake which resolves issues due to the impact of the railway and other commercial uses, which are not necessarily compatible in close proximity to residential properties should be given. Where any such use comes forward during the Plan period, opportunities, constraints and key principles for development should be taken into consideration in any future redevelopment.
- b) Area 1- Where any B2 use such as the current Shiplake Motors site comes forward during the Plan period, the opportunities, constraints and key principles for development should be taken into consideration in any future redevelopment.
- c) On street parking is another negative factor and is generated from station parking overflow.

17 Natural Surveillance

- a) Natural surveillance takes place when people can see what is happening where they live. Crime rates are less in locations where people believe they are being watched.
- b) Maximise opportunities for communities to become self-policing

18. Parking

- a) The design of parking areas should be appropriate to the scale and location of the residential development.
- b) Parking areas should be surfaced using a permeable material to provide adequate natural drainage.
- c) Support should be given for proposals which resolve on street parking problems in general as well as those generated from the station parking overflow. This problem dominates the surrounding streets, particularly during working hours. Where on-plot parking is proposed, this should not dominate the frontage.

19. Permeability

- a) Small scale developments that enhance permeability through the settlement, incorporate enhancements to the public realm or provide communal green space should be encouraged.
- b) Create pedestrian and cycle friendly environments to reduce the need to travel by car.

20. Public realm

- a) Public realm or communal green space should be provided in development plots to contribute to the provision or enhancement of green space in the area.
- b) Avoid open spaces that lack character or purpose Identify opportunities to make a positive contribution to character.

21. Railway

- a) Many of the character areas are marred by the impact of the railway line (see Fig DG10), which creates a visual intrusion in addition to noise and traffic congestion at the level crossings. The line itself also creates a physical barrier to parts of village and its facilities and amenities. For any proposals adjacent to the railway line, the impact of such issues would have to be carefully considered in terms of noise and the siting of amenity space.

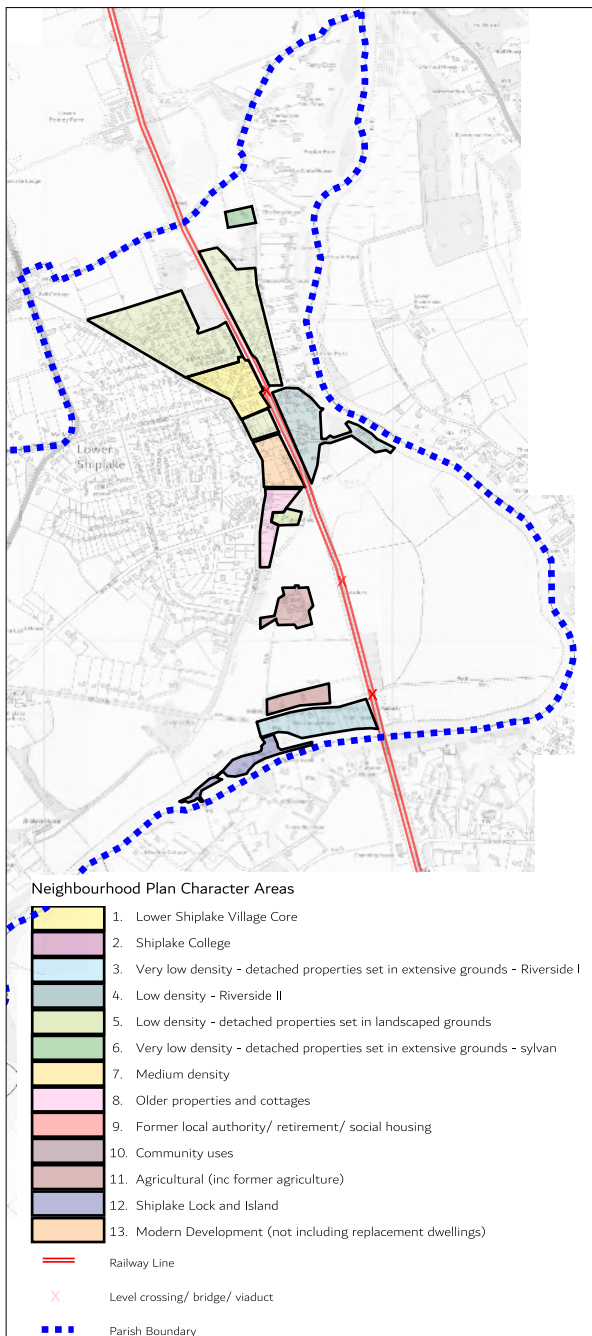


Figure DG10: Plan highlighting areas affected by the railway line

22. Replacement dwellings and Extensions

- a) Replacement dwellings and extensions can alter the character of a village if not carefully designed.
- b) Care should be taken to ensure:
 - The scale of development is in keeping with the street and appropriate to the size of the plot.
 - There is a positive relationship between the building and the street.
 - Reference should be taken from the local vernacular to determine the most appropriate proportions for the replacement dwelling/ extension.

Extensions are more likely to be successful if they do not exceed the height of the original building, do not remove important vegetation or reduce the gaps between buildings where it would be inconsistent with its surroundings.

Equally the plot coverage of an extended dwellings should be consistent with that of surrounding properties and not lead to overdevelopment of a plot which would be harmful to the character of the area.

Proposals for replacement dwellings will be accompanied by a Design and Access statement which includes a contextual analysis to highlight how the design has taken into account the characteristics of the site and its surroundings.

Replacement dwellings should respect the density of this area. Such development must not lead to over development of plots and any application should be accompanied by an analysis of the surrounding plot sizes and coverage by built form. It should also retain the generous gaps between individual buildings and a comparable level of street and front garden vegetation.

23. River Thames

- a) Minimise the impact of built development as viewed from the River Thames. Care must be taken however, that there is no proliferation of riverside development (including substantial

boathouses), which would present a harder, less landscaped edge to the waterfront.

- b) Maintain the riverside character which unifies much of the waterfront character areas.

24. Scale, Height, Massing

- a) New development will be more likely to integrate successfully with the settlement if the scale, height and massing of new buildings demonstrates consideration for the context of the original buildings within the area.
- b) Buildings should not be designed in isolation. Whether they are of traditional or contemporary design, buildings should be part of a design concept for the whole site. This will need to be explained in a Design and Access Statement accompanying the planning application. New houses that respect the existing height and follow the roofline of adjacent houses should be encouraged.
- c) Careful attention should be paid to roofing form in addition to materials, pitch, eaves and verge details and the inclusion of chimney stacks or other features that project above the ridge line.

25. SODC Design Guide

- a) All new development should conform to the overarching principles set out in the SODC Design Framework, as appropriate. This should be based on a full and detailed contextual analysis and justification behind the proposals and how it has been designed to integrate and enhance the site and the wider area.

26. Special Character Areas

A number of character areas in the Parish (particularly areas 2, 3, 4, 6 and 12) as shown in Fig DG11 are considered to warrant further protection due to their unique or special characteristics, which could be adversely impacted upon by inappropriate development either on a large scale or cumulatively by smaller piecemeal development.

Area 2 - Shiplake College –

The area has the highest concentration of designated heritage assets as well as a Thames river frontage.

It is key that Shiplake College can expand and maintain its buildings to meet future demand, but carefully balance the accommodation of growth with respect for the historic and waterfront location including the identified important views.

Development which adversely impacts upon the skyline would not be acceptable.

Area 3 - Riverside Development I (Bolney Road) –

Mature, sylvan landscaped setting along Bolney Road, where the majority of properties are not highly visible from public vantage points.

Dwellings are entirely contained by the landscape and often concealed. Redevelopment and extension could lead to a significant adverse impact. It is essential that plots are not overdeveloped, significant vegetation is not removed and substantial gaps which exist between buildings are not substantially diminished.

Due to the extremely low density setting, the high degree of landscaping and the varied age, design and style of buildings in this riverside environment, the character area would benefit from protection to ensure that future development does not take place in a manner which may detrimentally impact on the special character of the area.

Properties are visible from the Thames, where an entirely different more open perspective is gained. Development which would have a significant adverse impact on public views should not be supported.

Many dwellings have prominent and significant boat houses which give this area (in addition to the other riverside areas of Shiplake) a unique character. Care must be taken however, that there is no proliferation of riverside development which would present a harder, less landscaped edge to the waterfront.

Area 4 - Riverside Development II

Dwellings in this character area have a clear riverside influence, not only due to the fact that they are raised to account for the level of flooding which exists, but their design and appearance. New development should maintain this character and draw on such influences,

with any deviation adequately justified in the Design and Access statement as to why it is not appropriate.

Dwellings are set into landscaped grounds but have a visible presence on the street. The gaps between buildings are key. Redevelopment and extension could lead to a significant adverse impact. It is essential that plots are not overdeveloped, significant vegetation is not removed and substantial gaps which exist between buildings are not substantially diminished to retain the verdant riverside character.

Houses in this area were often smaller dwellings with sufficient plot size to extend or replace with a larger property. There may be issues where such work would lead to adverse over-development of the plot/ and or

raise the density of an area. This along with subdivision should be resisted where it would lead to an erosion of the existing character.

Area 6 - Properties set in Extensive Sylvan Grounds

The character of this area is distinctive, with the emphasis of the landscape containing the development. Particularly where the character areas border agricultural fields, the impression is of glimpsed views of buildings. Any new development should maintain this character.

The ratio of built form to plot size is extremely low. Any new development or redevelopment should demonstrate how this has been taken into account.

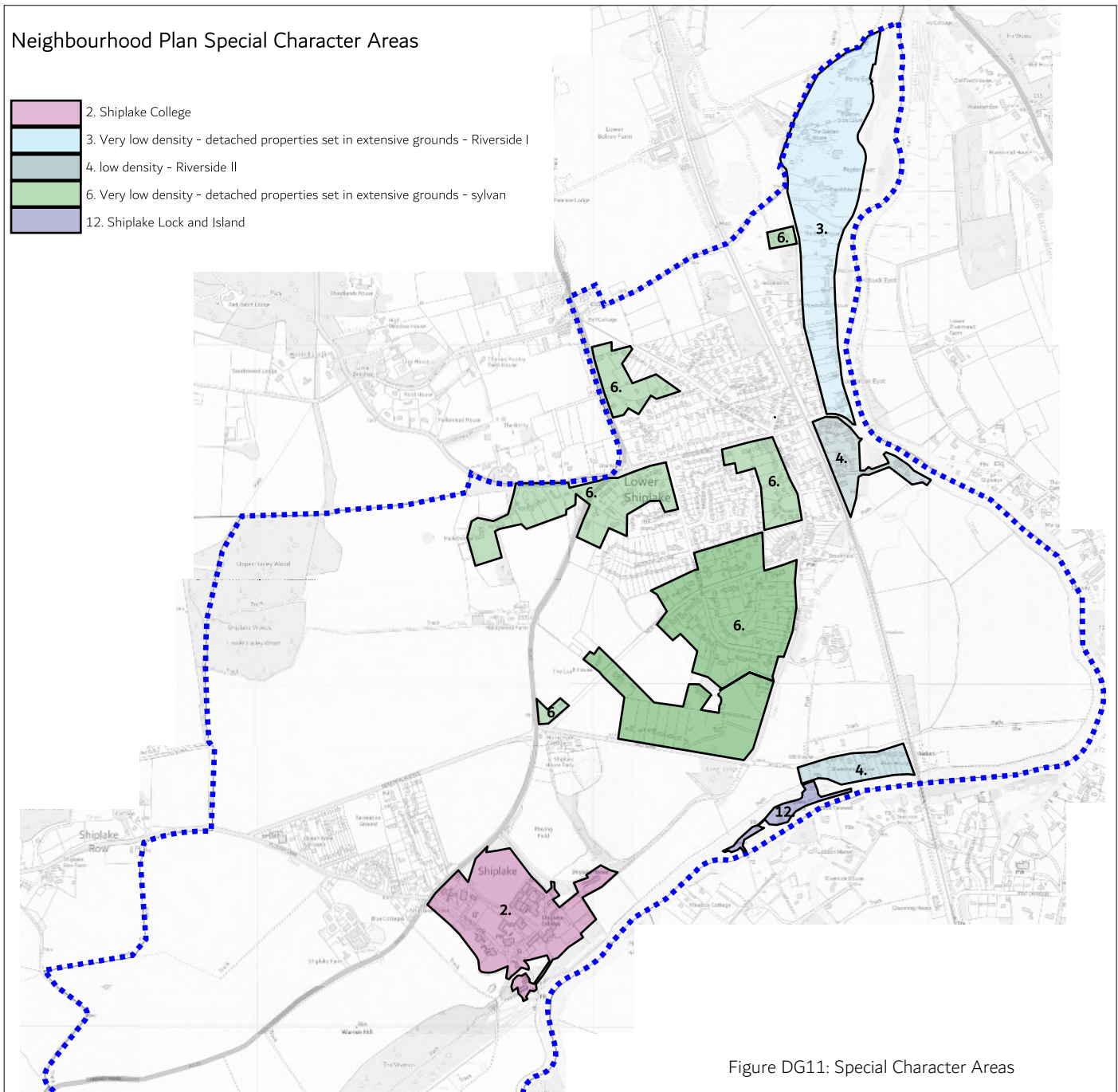


Figure DG11: Special Character Areas

Higher density development and subdivision within settlements and open countryside is generally considered inappropriate. It would have a marked impact and detract from the special sylvan character.

New development should maintain the low density nature of the surroundings, with significant gaps between buildings

Both formal and informal planting is used effectively and should continue in any new development, being integrated into the initial design phase.

Area 12 - Shiplake Lock - Shiplake Lock and island has its own unique character, which could be subject to development pressure, particularly from recreational and tourism uses. The site is an important feature in the landscape and in the key views. It is highly visible from the Thames Path. Any redevelopment should be sensitively designed as it would have the potential to fundamentally alter the character of this area and should be considered carefully for its impact on both the river frontage and the open landscape views to the west.

27. Storage

- a) Provision must be made for secure cycle storage in addition to waste and recycling. Cycle and bin stores should be integrated into the garden and screened from the street.

28. Street furniture

- a) Street furniture such as benches and bins required for the public realm should complement the local vernacular.
- b) Design and location should be carefully considered. Seating areas encourage people to gather and as a result should provide adequate space.

29. Subdivision of Dwellings

- a) Where subdivision of dwellings has already occurred, this has been largely unsuccessful and led to the over development of plots. There are

limited opportunities in the plan area where subdivision would be appropriate.

- b) Over time cumulative subdivision is likely to have a significant adverse impact on the character of an area, particularly those Special Character Areas.

30. Traffic

- a) Character Areas adjacent to the A4155 are marred by the significant traffic levels passing through the Parish. This is a physical barrier to residents wishing to use the services and facilities of each settlement and prevents accessible car and cycle use. Traffic calming measures and a pedestrian crossing may be considered appropriate, but should not be urbanising features in this environment.

31. Views

- a) The open countryside and character areas on the edge of the settlement and around the farms, benefit from surrounding rural views as set out in the Landscape Character Assessment - these should be included within Neighbourhood Plan policies.

32. Windows and Doors

- a) Windows in new houses should complement the vertical pattern and scale of windows reflected in local architectural detailing.
- b) Doors can be noticeable features and, as with windows, they can have a dramatic impact on the appearance of a property. Use windows as part of the overall design approach. In more traditional designs, the positioning of windows within their reveals is important to add visual interest. See design palettes below.
- c) Use doors that reflect the design approach see design palettes below. Doors should be simple and well-proportioned; pastiche of historical designs should be avoided.



Figure DG12: Distinctive views such as this view from Shiplake College

Examples of Positive Modern Development



Figure DG13: Examples of positive modern development. These range from redevelopment sites to replacement and infill dwellings. The key is that each one has a design which has been justified based on an analysis of the local surroundings. Some are influenced by the River Thames, whilst others the predominant style of building in the area, mixed with high quality architectural design.

Appendix 1 - Designated Heritage Assets - Details

1. NAME: CHURCH OF ST PETER AND ST PAUL, CROSS APPROXIMATELY 80 METRES TO THE NORTH WEST

Designation Type: Listing

Grade: II

List UID: 1059596

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/153 Church of SS Peter and Paul, cross approx 80 metres north-west GV II Cross. c.1908. Sandstone. Stepped octagonal base with carved panels. Decorative Gothic cross. Cross to Alice Camille Phillimore.

floor, bar tracery openings with louveres to second floor. Stone battlements to parapet. Left return front; three three-light windows of reticulated tracery. Nave aisles and chancel nave separate gabled roofs.

Interior: transitional arcades to nave; C13 piscina to south aisle; reset C16 brass on wall of south aisle. Monuments in chancel and south aisle. C15 glass from abbey church of Saint-Bertin at Saint-Omer in France, in east windows of chancel and south aisle, and in south windows of chancel and south aisle, and west window of south aisle. Font by G.E Street; rectangular basin supported on columns with foliated caps and stepped base. Sedilia, piscina and reredos to altar of chancel, and pews all by G.E Street.

2. NAME: CHURCH OF ST PETER AND ST PAUL

Designation Type: Listing

Grade: II*

List UID: 1059595

Date first listed: 13-Feb-1985

Details

SU77NE 10/152 SHIPLAKE Church of St Peter and St Paul

GV II* Church. C13 with C15 alterations and restoration 1869 by G.E Street. Flint with stone dressings; plain tile roof. Aisled four bay nave, two bay chancel and west tower. Early English style.

Studded C19 door with timber-framed porch on stone base, with gabled tiled roof. C19 lancet window to left, buttress to end. C19 lancet to right, buttress, C19 paired lancet under common two-arched hood, buttress to right end. Chancel: two C19 two-light lancets with trefoil heads. Buttress between windows and to east end. East windows of south aisle, chancel and north aisle, are of three lancets. Rear; C19 vestry to left with two-light mullioned window to left and plank door to right. North aisle has three three-light lancets. Tower to right, of three floors; two centred arched door to ground floor, single window to first

3. Name: CHURCH OF ST PETER AND ST PAUL - WALL AND GATE APPROXIMATELY 30 METRES TO THE SOUTH

Designation Type: Listing

Grade: II

List UID: 1059597

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/154 Church of SS Peter and Paul, wall and gate approx 30 metres south GV II Wall and gate. Circa 1869, probably by G.E. Street. Wooden gate with wrought iron lattice work. Flint wall with decorative stone coping and brick wall to right also with stone coping.

4. NAME: SHIPLAKE COLLEGE - WATER TOWER APPROXIMATELY 90 METRES TO THE NORTH WEST

Designation Type: Listing

Grade: II

List UID: 1181367

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/164 Shiplake College, Water Tower approx 90 metres north-west GV II Water Tower. Circa 1899 by Ernest George. Brick with decorative flint panels; plain tile roof. Square plan with octagonal stair turret. C20 doors to ground floor. Stair turret has arched openings to top with hipped roof. Dovecote to gable of main roof.

5. NAME: SHIPLAKE COLLEGE - TUDOR COTTAGE

Designation Type: Listing

Grade: II

List UID: 1368942

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/163 Shiplake College, Tudor Cottage GV II

Cottage. Late C17, with early C20 alterations, possibly by E. George. Flint base with brick dressings; timber frame with rendered infill; old plain tile roof; brick end stacks. Front to church; 1 storey and attic, 2-window range; 3 C20 casements to ground floor, 2 gabled 3-light dormers to roof. Entered to rear. Queen post roof construction visible to left hand return. Interior not inspected.

6. NAME: SHIPLAKE COLLEGE - BURR HOUSE

Designation Type: Listing

Grade: II

List UID: 1181358

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/162 Shiplake College, Burr House GV II House, now public school dormitories. Early C18 with C19 and C20 alterations. Flint with brick quoining and window surrounds; plain tile roof; brick stacks. 2 storeys and attic; 5-window range. Bordered sashes to all openings, central panel to ground and first floor blind. Brick flat band between ground and 1st floor. 2 gabled dormers with square bordered sashes to attic. Interior not inspected. Subsidiary feature: wing to right possibly C19 with C20 bay to right and C20 door to left. Central rendered panel flanked by 15-pane sashes to first floor.

7. NAME: SHIPLAKE COLLEGE

Designation Type: Listing

Grade: II

List UID: 1059600

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/161 Shiplake College - II Country House, now school. Dated 1890 on water-heads, by Ernest George for Robert Harrison. Red brick with grey brick diaper pattern; probably stone slates brick stacks. Complex plan. Tudor style. 2 storeys and attic, 10 window range. Central 3 storey entrance tower with 2-centred arched doorway to right with recessed porch, with studded door. Irregular fenestration of mainly wooden mullion and transom windows. Complex gabled roof with gabled dormers. Decorative brick stacks. Rear: symmetrical elevation. Central double-height bay window with stone mullions and transoms and glazed door. 4 double-height mullion and transom windows, 2 to each side of bay. Cross wing to left and right with vaulted loggias to the angles. Interior: open-well newel staircase; dining hall has arch-braced roof and stone hood to fireplace, wooden screen to cross-passage with late C19 stained glass. Common room; former dining room, panelled in oak, stone hooded fireplace on marble columns. (Buildings of England: Oxfordshire p.756-7. M.Girouard, The Victorian Country House, 1971. p.187).

8. NAME: SHIPLAKE HOUSE

Designation Type: Listing

Grade: II

List UID: 1059601

Date first listed: 13-Feb-1985

Details

SHIPLAKE SU77NE 10/165 Shiplake House - II House. Early C19. Stucco, probably on brick; hipped slate roof; stuccoed end stacks. Double depth plan. 3-storey, 5-window range. Single storey porch to right of centre; double door to centre with flanking 8-pane sashes, 12-pane sashes to ground and 1st floor, 6 pane sashes to 2nd floor. Flat band between ground and first floor. Moulded cornice between first and second floor. Bracketed eaves. Interior not inspected. Subsidiary features: 2- storey brick wing, possibly mid C19, to right. Wrought iron verandah to ground floor left hand return and rear elevation.

9. NAME: LOWER SHIPLAKE WAR MEMORIAL

Designation Type: Listing

Grade: II

List UID: 1447881

Date first listed: 05-Jul-2017

Reasons for Designation

Lower Shiplake War Memorial, which stands in the south-east corner of a small green formed by the intersection of the A4155 and Station Road, is listed at Grade II for the following principal reasons:

Historic interest: * As an eloquent witness to the tragic impact of world events on this local community, and the sacrifice it has made in the conflicts of the C20.

Architectural interest: * An impressive rough-hewn stone monument with decorative volutes and Celtic style carving.

History

The aftermath of the First World War saw the biggest single wave of public commemoration ever with tens of thousands of memorials erected across England. This

was the result of both the huge impact on communities of the loss of three quarters of a million British lives, and also the official policy of not repatriating the dead: therefore the memorials provided the main focus of the grief felt at this great loss. One such was raised at Lower Shiplake and was built in c1923 on land conveyed to the Parish council for the erection of a war memorial. The names of the fallen are recorded on two bronze plaques. The second plaque was added after the Second World War.

Details

Stone First World War memorial, c1923, with remembrance detail updated after the Second World War.

MATERIALS: granite with bronze plaques.

DESCRIPTION: the memorial lies in the south-east corner of a small green formed by the intersection of the A4155 and Station Road in Lower Shiplake.

The rough-hewn stone base of the monument consists of a battered plinth which stands upon a three-stepped base. The plinth is constructed of blocks, and has four faces. The eastern and western faces have a bronze plaque, carrying the embossed names of the fallen.

The west facing plaque reads: TO THE GLORIOUS MEMORY OF THE MEN/ OF SHIPLAKE WHO GAVE THEIR LIVES IN/ THE GREAT WAR /1914-1918/ (NAMES)/ THEIR NAME LIVETH FOR EVERMORE, and the east facing plaque reads: IN REMEMBRANCE/ OF THOSE WHO GAVE/ THEIR LIVES IN THE/ WORLD WAR 1939-1945/ (NAMES)/ THEIR NAME LIVETH FOR EVERMORE. In total there are 53 names of the fallen.

On the top of the plinth, there is a c2m high shaft supported by a chamfered base. The shaft has inset carved panels, and is square in cross-section. The top of the shaft has a pair of volutes, and supports a stone wheel-cross with Celtic style carving. The shaft and wheel-cross are constructed of smoothed granite.

This List entry has been amended to add the source for War Memorials Online. This source was not used in the compilation of this List entry but is added here as a guide for further reading, 24 November 2017.

10. NAME: THE WHITE HOUSE

Grade: II

List Entry Number: 1249962

Date first listed: 16-Feb-1994

Detached house. 1908 by George Walton for Mr and Mrs George Davison; built by T.H. Kingerlee & Sons of Oxford. Later single bay addition to north. White-rendered brickwork. Tiled mansard roof with southern cross gable, all with projecting eaves; gable eaves have a modillion cornice; dormers and tall rendered chimney stacks with projecting modillion cornices. 2 storeys and attics. Irregular grouped fenestration. Central double height, projecting, semi-circular porch with 1st floor balcony having steel columns, paired to ground floor, on which the exposed bolting forms part of the design.

These are reflected in the balustrade design to both floors. Porch/balcony constructed of cantilevered RSJs clad in concrete. Entrance of metal-framed, rectangular panel glazed doors, repeated on 1st floor, and approached by curved steps to either side with further balustrading. Mostly French windows with patterned, louvered shutters and diagonally crossed guards to both floors and all elevations, mostly corresponding; those to gabled bay arranged 1:2:1 with an attic oculus. Southern elevation has a verandah forming a 1st floor balcony beneath overhanging and upswept eaves; 2 windows to each floor. Eastern elevation with a chimney stack forming the gable apex and 2 windows to each floor. To the right, the roof extends to 1st floor level with dormers. Enriched lead rainwater heads, one inscribed "GD" and two inscribed "George Walton, Architect, MCMVIII".

INTERIOR: this was always fairly plain. Some alteration but retains some features including a fine original polished timber open well staircase with simplified column newel and balusters having exposed joints.

SUBSIDIARY FEATURES: the garden retains some of the original layout with brick and tile walls. **HISTORY:** Walton, born in Glasgow, was primarily a designer and decorator, having trained by evening classes at the Glasgow School of Art. He decorated Miss Cranston's Willow Tea Rooms in Glasgow for which C R Mackintosh and his wife were also designers; also the dining room of C F A Voysey's home, The Orchard, Chorleywood. He opened a London shop in 1897 and through George Davison, head of European sales for Kodak, did the interiors of Kodak's Clerkenwell Road offices and shops

in Britain and on the Continent. Walton had no architectural training and designed few houses; The White House is extraordinary for its date, especially the porch/balcony. It was designed for summer entertaining and the nautical feel was clearly influenced by the proximity of the River Thames. Walton designed a small cottage for George Davison further down river at Bourne End and a magnificent house boat.

George Walton - Designer & Architect by Karen Moon, 1993; George Walton, His Life and Work by Sir N. Pevsner, RIBA Journal, 3.4.39, pp537-48; Plans and elevations in the RIBA Drawings Collection.